

# Alterations & Additions - Two Rivers Winery

2 Yarrawa Rd Denman NSW 2328





CAD DESIGN & DRAFT PTY LTD  
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Rev	Description	Date	By
A	ISSUED FOR DA	25-9-23	PJB
B	MARQUEE LENGTH REDUCED	21-12-23	PJB
Project Status		NOT FOR CONSTRUCTION	

Client	Two Rivers Winery
Project	Alterations & Additions
	2 Yarrawa Rd
	Denman NSW 2328

Lot No.	Sec. No.	Drawing Title
1	-	Cover Sheet
DP		<p>ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering material or commencement of work. All materials &amp; works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION' CAD Design &amp; Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design &amp; Draft Pty Ltd.</p>
1036050		
Council		
Muswellbrook		

Date:	November 23	Drawn:	PJB	Approved	PB
Scale at A3:	1:100	Checked:	PJB		
Project No.	23-039	Drawing No.	A01	Revision	B






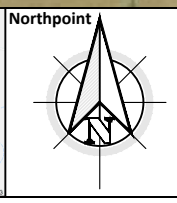
Overall Site Plan



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Locality Plan





Rev	Description	Date	By
A	ISSUED FOR DA	25-9-23	PJB
Project Status		NOT FOR CONSTRUCTION	

Client	Two Rivers Winery
Project	Alterations & Additions
	2 Yarrowa Rd
	Denman NSW 2328

Lot No.	Sec. No.	Drawing Title
1	-	Aerial Image & Property Information
DP		1036050
Council		Muswellbrook

Date:	November 23	Drawn:	PJB	Approved	PB
Scale at A3:	1:100	Checked:	PJB		
Project No.	23-039	Drawing No.	A02	Revision	A



# Site Plan (Chapel Area)

Scale 1:1000

# Site Plan (Main Development Area)

Scale 1:1000

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Rev	Description	Date	By
A	ISSUED FOR DA	25-9-23	PJB
B	SITE PLAN AMENDED	28-11-23	PJB
C	MARQUEE LENGTH REDUCED	21-12-23	PJB
Project Status		NOT FOR CONSTRUCTION	

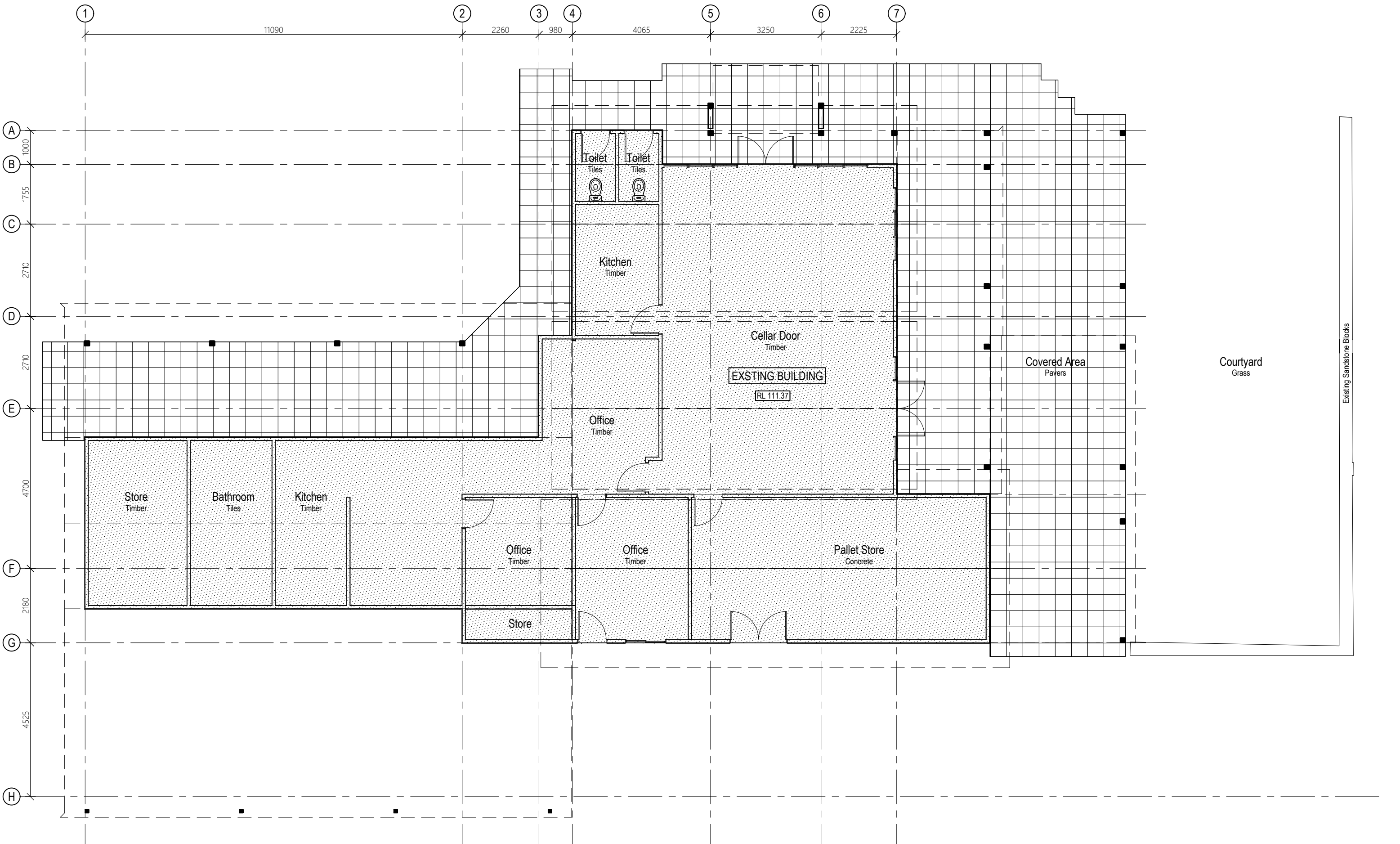
Lot No.	Sec. No.	Drawing Title
1	-	Site Analysis Plan
DP		
1036050		
Council		
Muswellbrook		

Lot No.	Sec. No.	Drawing Title
1	-	Site Analysis Plan
DP		
1036050		
Council		
Muswellbrook		

Date: November 23	Drawn: PJB	Approved
Scale at A3: 1:100	Checked: PJB	PB
Project No. 23-039	Drawing No. A03	Revision C







Cellar Door Building - Existing Floor Plan

SCALE 1:100



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A	ISSUED FOR DA	25-9-23	PJB	Two Rivers Winery
Project Status		NOT FOR CONSTRUCTION		

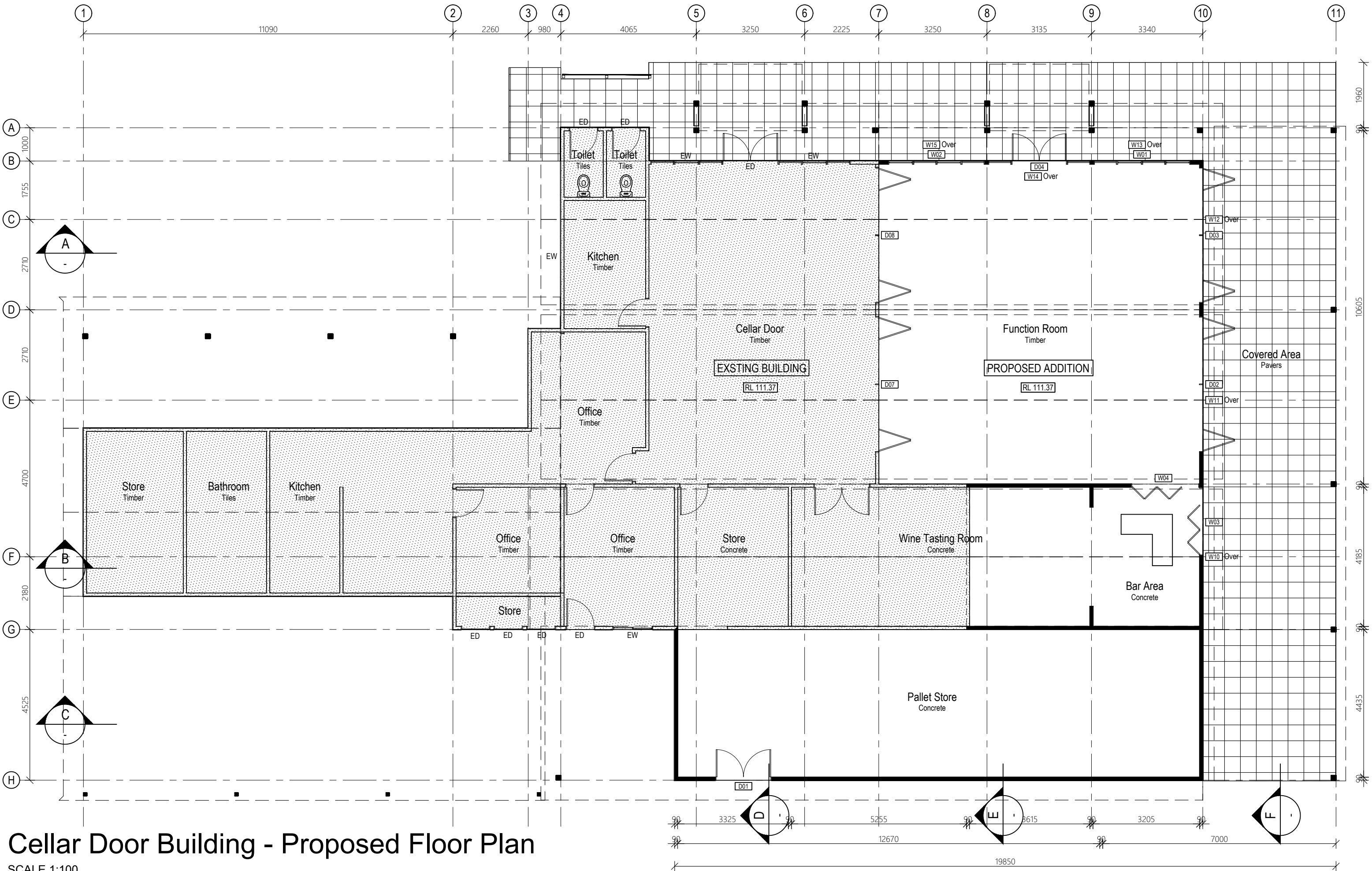
Project	Client
Alterations & Additions	Two Rivers Winery
2 Yarrowa Rd	
Denman NSW	2328

Lot No.	Sec. No.	Drawing Title
1	-	Cellar Door Building - Existing Floor Plan
DP		ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials & works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION'
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Council		
Muswellbrook		0 5mm 25mm 50mm ON ORIGINAL A3

Date:	Project No.
November 23	23-039
Scale at A3:	
1:100	

Drawn:	Drawing No.
PJB	CD01
Checked:	
PJB	

Approved	Revision
PB	A



Cellar Door Building - Proposed Floor Plan

SCALE 1:100



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Rev	Description	Date	By	Client
A	ISSUED FOR DA	25-9-23	PJB	Two Rivers Winery
Project Status		NOT FOR CONSTRUCTION		
		Project Alterations & Additions		
		2 Yarra Rd Denman NSW 2328		

Lot No.	Sec. No.	Drawing Title
1	-	Cellar Door Building - Proposed Floor Plan
DP		ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials & works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION' CAD Design & Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design & Draft Pty Ltd.
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Date: November 23	Drawn: PJB	Approved
Scale at A3: 1:100	Checked: PJB	PB
Project No. 23-039	Drawing No. CD02	Revision A

**Roof Plan Legend**

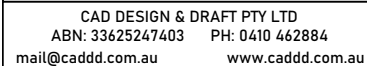
- EG Coldbond Eaves Gutter
- BG Coldbond Box Gutter
- PW Parapet Wall
- BC Coldbond Barge Capping
- CRS Coldbond Roof Sheeting

**Roof Plan**

The diagram shows a roof layout with grid lines 1-11 horizontally and A-H vertically. It details existing and proposed gutter systems with various pitch angles:

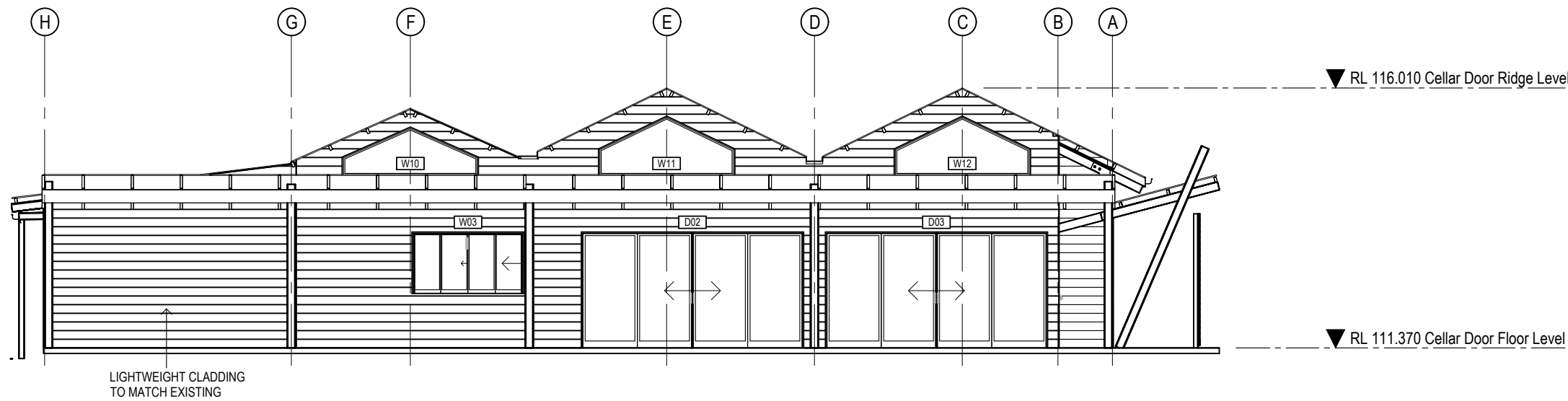
- EXISTING EAVES GUTTER** (along grid line 1): 22.5° pitch.
- EXISTING EAVES GUTTER** (along grid line H): 1° pitch.
- EXISTING BOX GUTTER** (along grid lines D, F, H): 26° pitch.
- EXISTING BOX GUTTER** (along grid lines D, F, H): 24° pitch.
- EXISTING BOX GUTTER** (along grid lines D, F, H): 3° pitch.
- EAVES GUTTER EXTENSION** (along grid line 11): 26° pitch.
- BOX GUTTER EXTENSION** (along grid lines D, F, H): 26° pitch.
- BOX GUTTER EXTENSION** (along grid lines D, F, H): 24° pitch.
- NEW EAVES GUTTER** (along grid line 11): 7° pitch.
- NEW BOX GUTTER** (along grid line H): 24° pitch.

SCALE 1:100



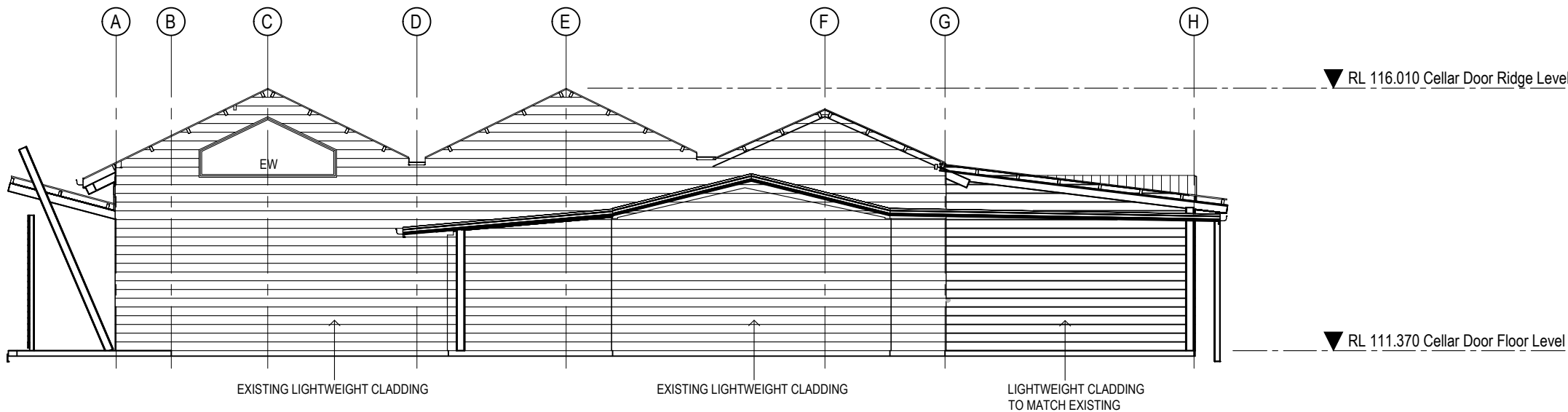
Northpoint
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Rev	Description	Date	By	Client	Lot No.	Sec. No.	Drawing Title	Date:	Drawn:	Approved
A	ISSUED FOR DA	25-9-23	PJB	Two Rivers Winery	1	-	Cellar Door Building - Roof Plan	November 23	PJB	PB
Project				Alterations & Additions	DP		ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials & works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION'. CAD Design & Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design & Draft Pty Ltd.	Scale at A3: 1:100	Checked: PJB	
2 Yarrawa Rd					1036050			Project No.	Drawing No.	Revision
Denman NSW				2328	Council			23-039	CD03	A
Project Status		NOT FOR CONSTRUCTION			Muswellbrook					



Cellar Door Building - Eastern Elevation

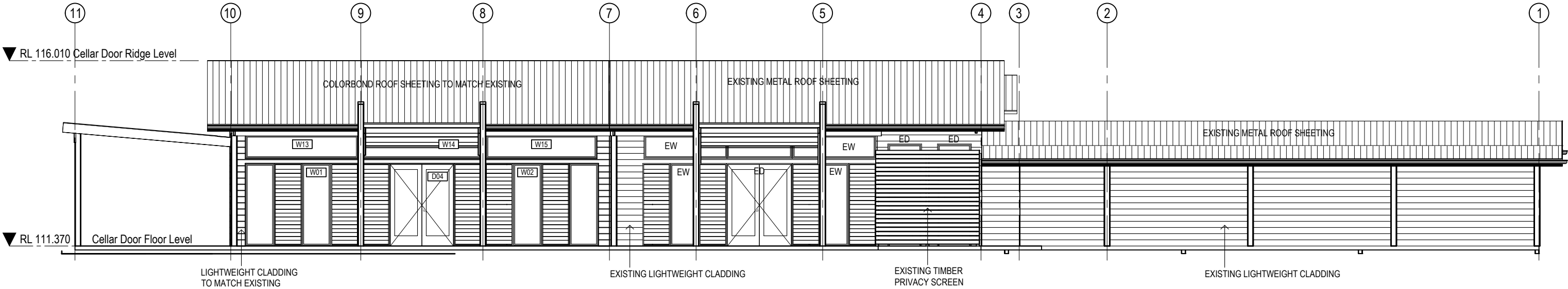
SCALE 1:100



Cellar Door Building - Western Elevation

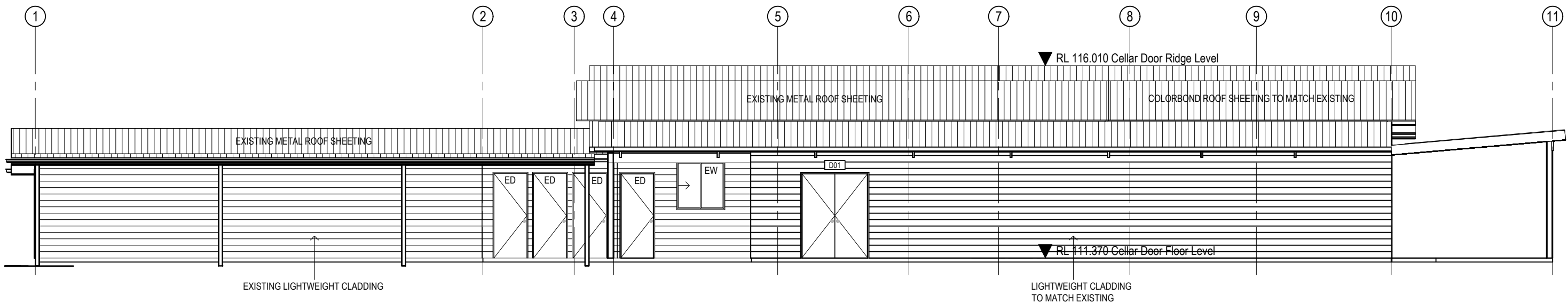
SCALE 1:100





Cellar Door Building - Northern Elevation

SCALE 1:100



Cellar Door Building - Southern Elevation

SCALE 1:100



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Rev	Description	Date	By
A	ISSUED FOR DA	25-9-23	PJB
Project Status		NOT FOR CONSTRUCTION	

Client	Two Rivers Winery
Project	Alterations & Additions
2 Yarra Rd	
Denman NSW	2328

Lot No.	Sec. No.	Drawing Title
1	-	Cellar Door Elevations (Sheet 2)
DP		<p>ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials &amp; works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION' CAD Design &amp; Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design &amp; Draft Pty Ltd.</p>
1036050		
Council		
Muswellbrook		

Date:	November 23	Drawn:	PJB	Approved
Scale at A3:	1:100	Checked:	PJB	PB
Project No.	23-039	Drawing No.	CD05	Revision
				A

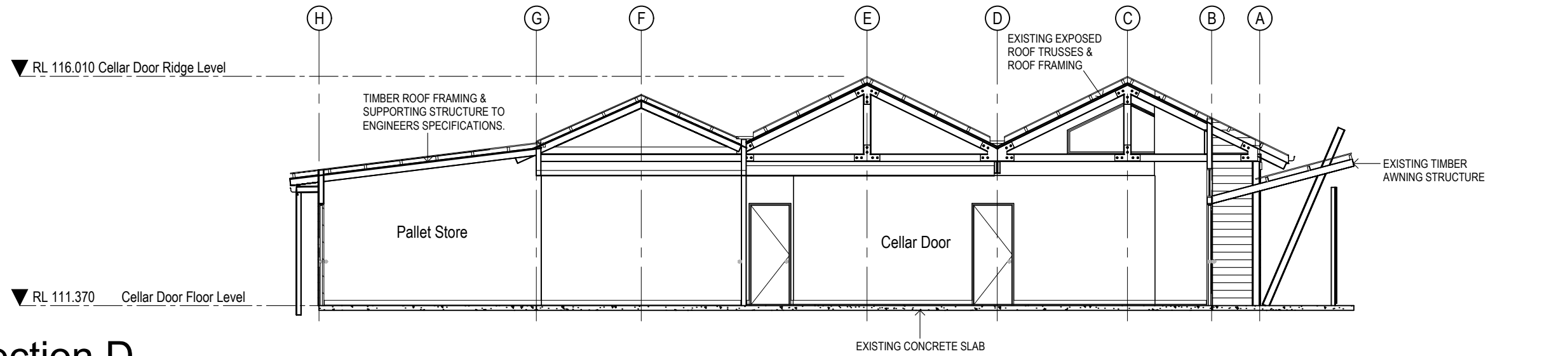






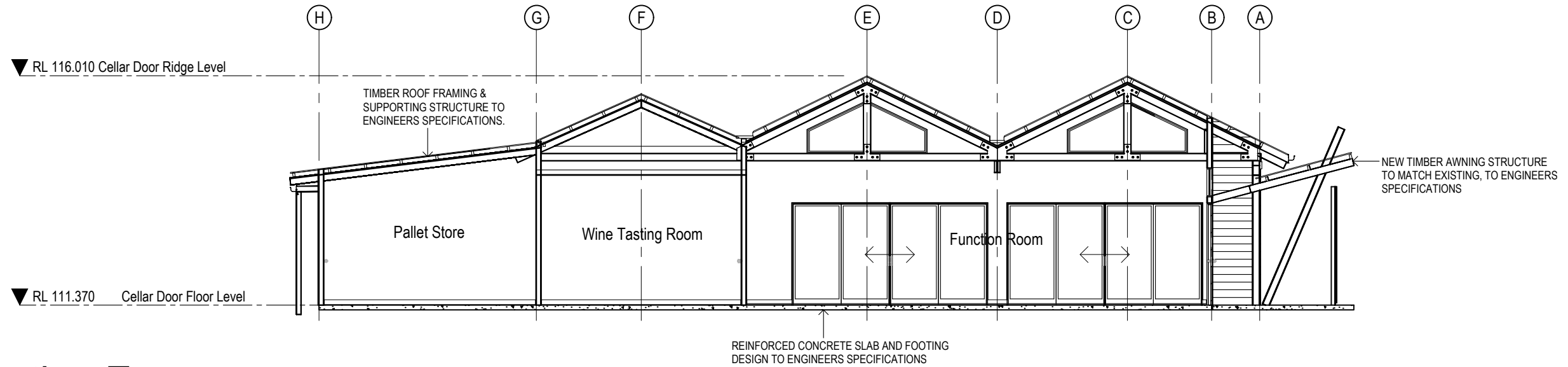
# Building Section D

SCALE 1:100



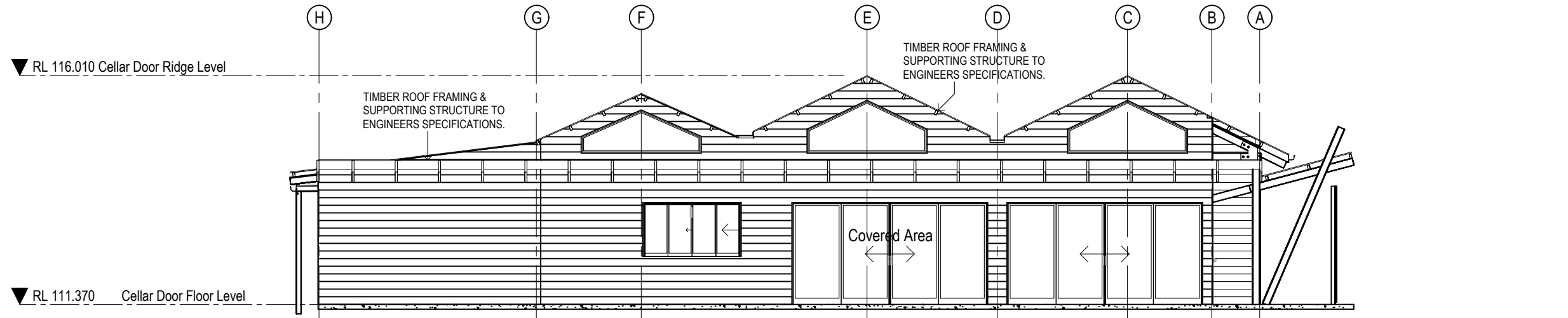
# Building Section E

SCALE 1:100



# Building Section F

SCALE 1:100

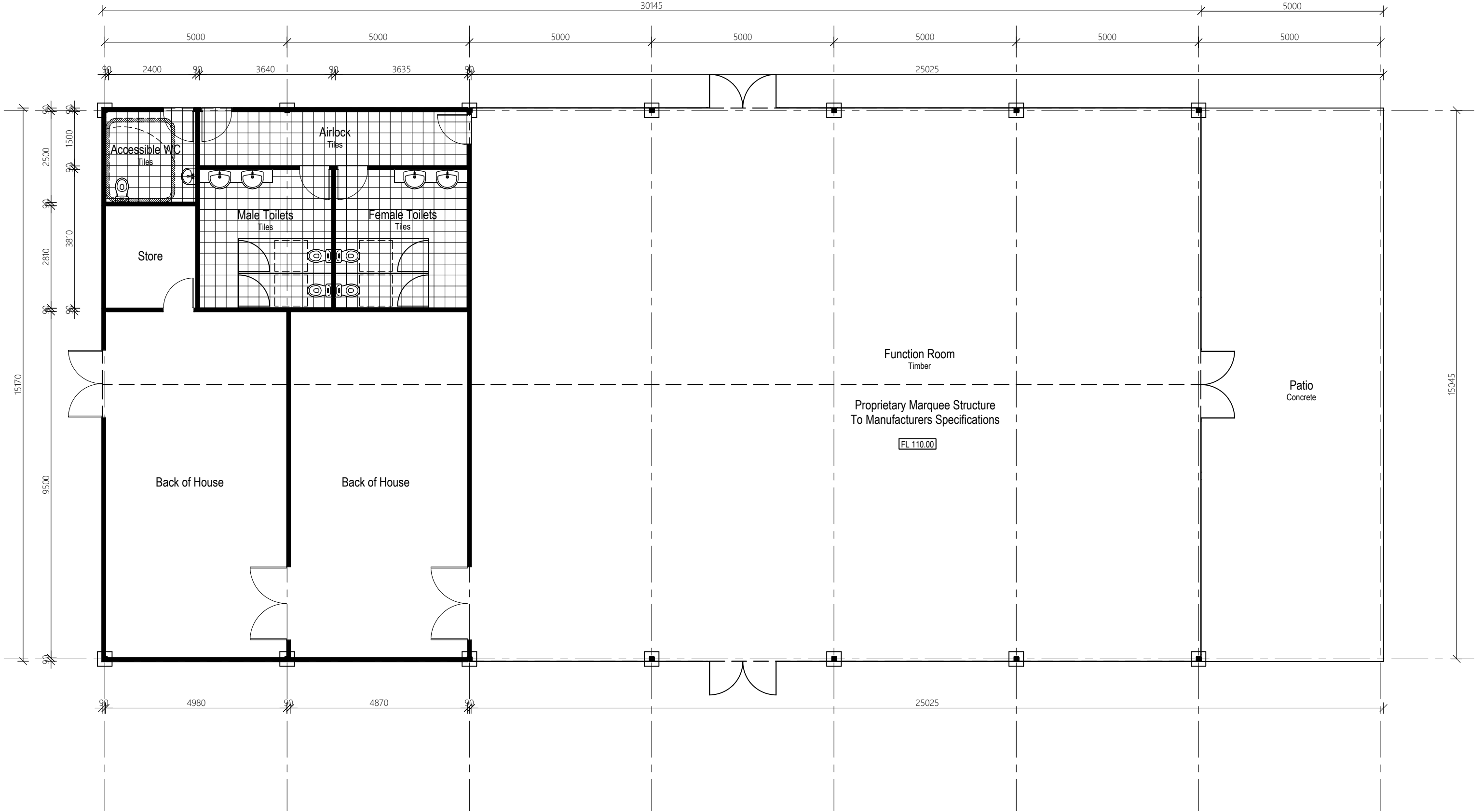






Rev	Description	Date	By	Client	Lot No.	Sec. No.	Drawing Title	Date:	Drawn:	Approved
A	ISSUED FOR DA	25-9-23	PJB	Two Rivers Winery	1	-	Cellar Door Artist Impressions	November 23	PJB	PB
Project Alterations & Additions 2 Yarrawa Rd Denman NSW 2328				DP	1036050	ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials & works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted FOR CONSTRUCTION. CAD Design & Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design & Draft Pty Ltd.	Scale at A3: 1:100	Checked: PJB	Revision	
				Council	Muswellbrook		Project No. 23-039	Drawing No. CD08		
				Project Status	NOT FOR CONSTRUCTION					





Proposed Marquee - Floor Plan

SCALE 1:100



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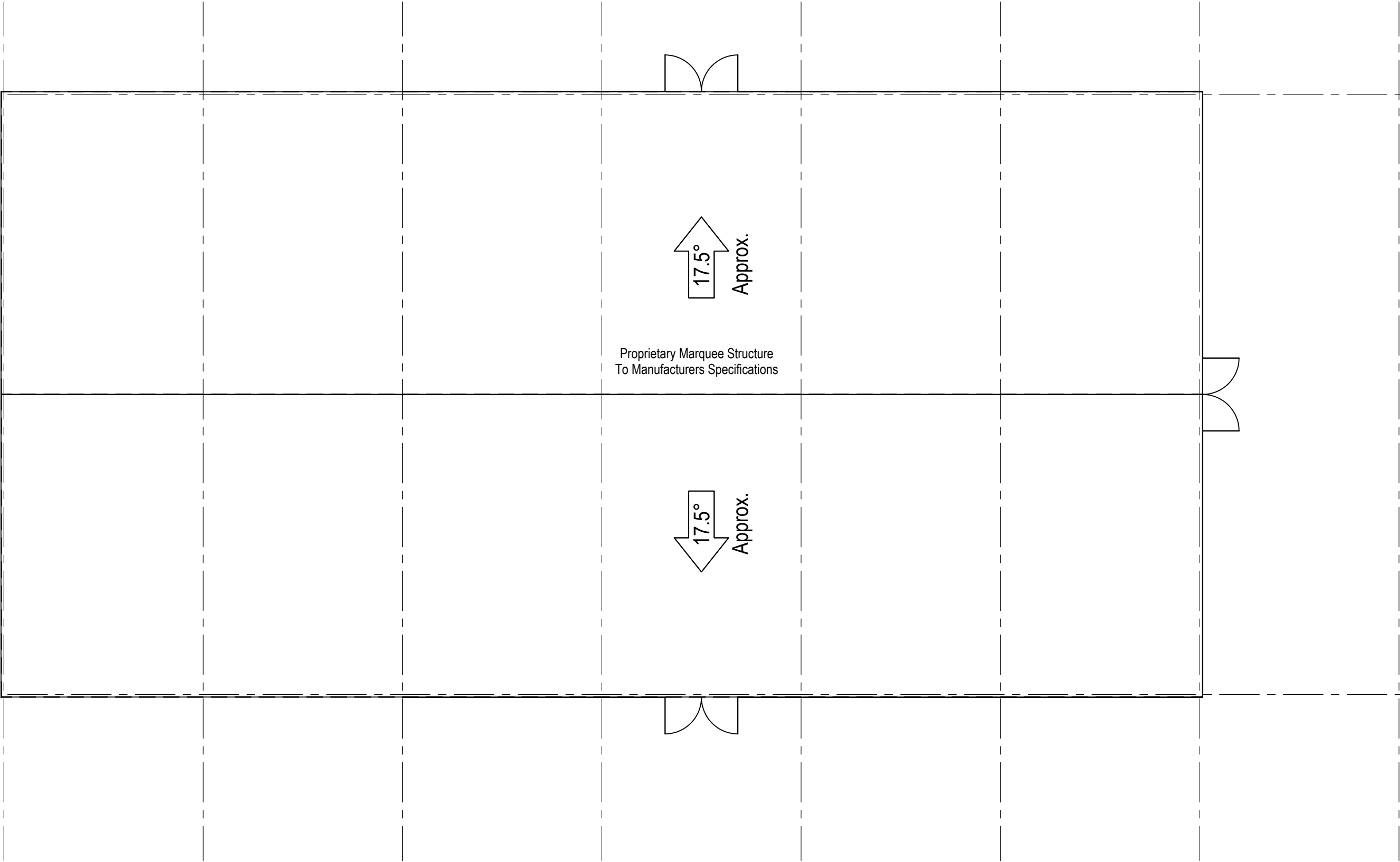
Northpoint

Rev	Description	Date	By
A	ISSUED FOR DA	25-9-23	PJB
B	MARQUEE LENGTH REDUCED	21-12-23	PJB
Project Status		NOT FOR CONSTRUCTION	

Client	Two Rivers Winery
Project	Alterations & Additions
2 Yarrara Rd	Denman NSW 2328

Lot No.	Sec. No.	Drawing Title
1	-	Marquee Floor Plan
DP		ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials & works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION' CAD Design & Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design & Draft Pty Ltd.
1036050		
Council		
Muswellbrook		0 5mm 25mm 50mm ON ORIGINAL A3

Date: November 23	Drawn: PJB	Approved
Scale at A3: 1:100	Checked: PJB	PB
Project No. 23-039	Drawing No. M01	Revision B



# Proposed Marquee - Roof Plan

SCALE 1:100




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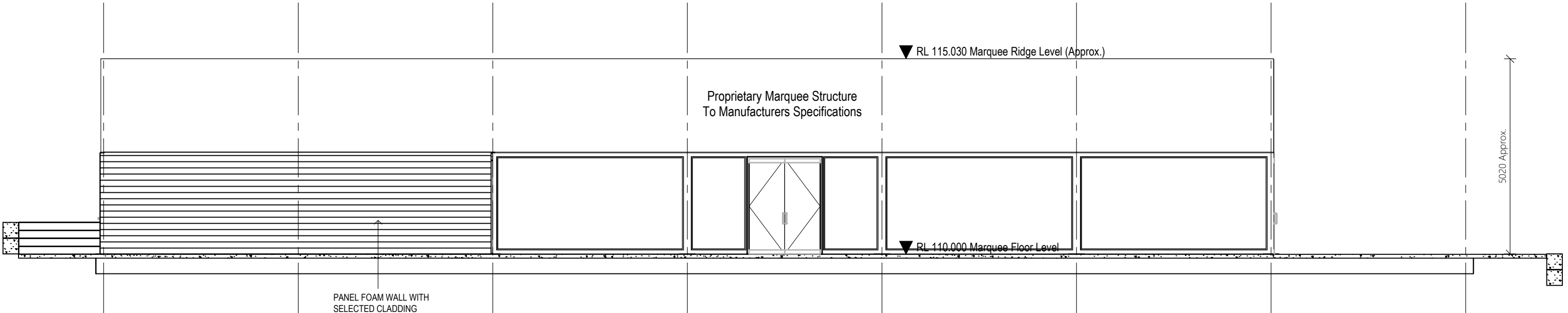
Rev	Description	Date	By
A	ISSUED FOR DA	25-9-23	PJB
B	MARQUEE LENGTH REDUCED	21-1-23	PJB
Project Status		NOT FOR CONSTRUCTION	

Client
Two Rivers Winery
Project
Alterations & Additions
2 Yarrawa Rd
Denman NSW 2328

Lot No.	Sec. No.	Drawing Title
1	-	Marquee Roof Plan
DP		<p>ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials &amp; works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION' CAD Design &amp; Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design &amp; Draft Pty Ltd.</p>
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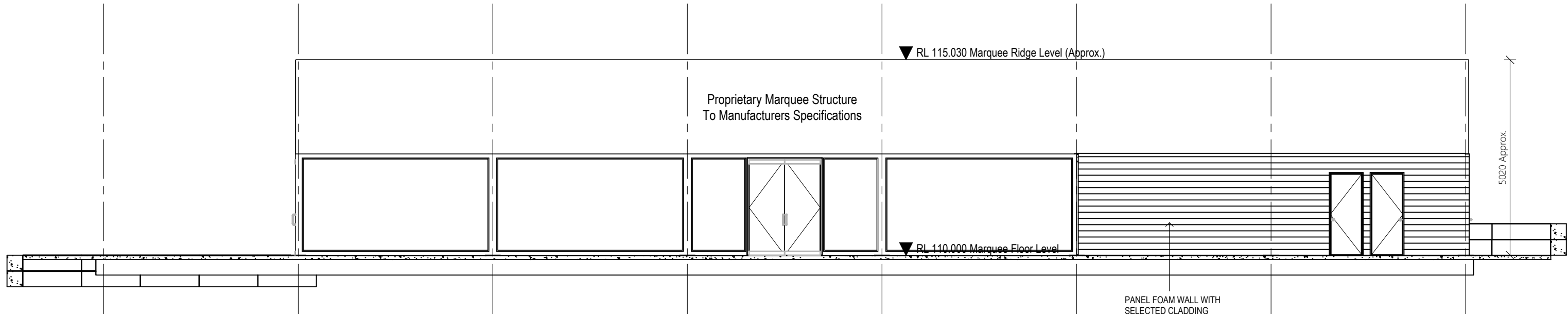
Date: November 23	Drawn: PJB	Approved
Scale at A3: 1:100	Checked: PJB	PB
Project No. 23-039	Drawing No. M02	Revision B





Cellar Door Building - Eastern Elevation

SCALE 1:100



Cellar Door Building - Western Elevation

SCALE 1:100



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A	ISSUED FOR DA	25-9-23	PJB
B	MARQUEE LENGTH REDUCED	21-12-23	PJB
Project Status		NOT FOR CONSTRUCTION	

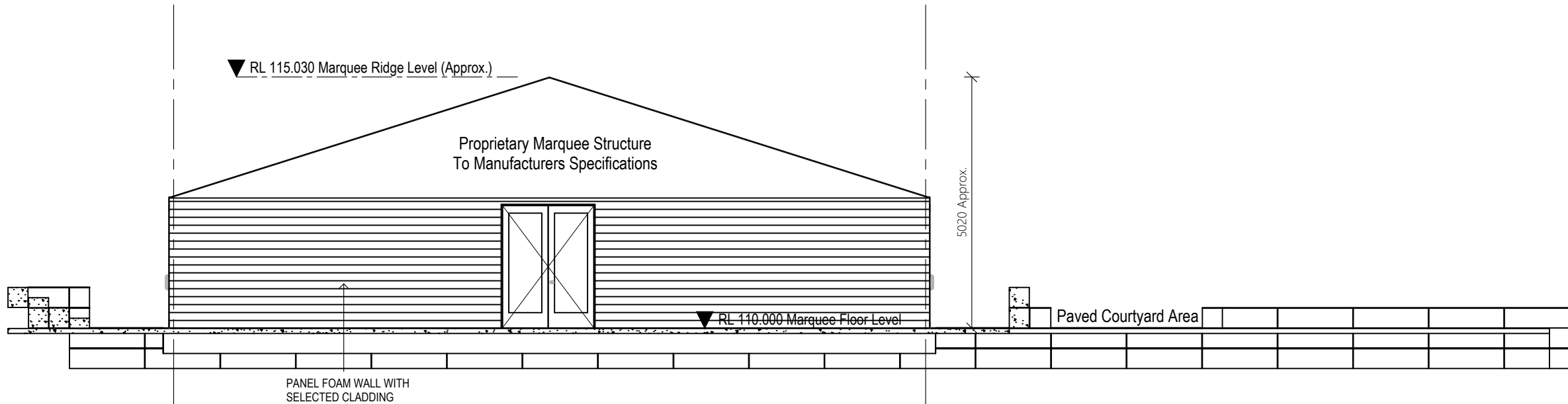
Client	Two Rivers Winery
Project	Alterations & Additions
	2 Yarrawa Rd
	Denman NSW 2328

Lot No.	Sec. No.	Drawing Title
1	-	Marquee Elevations (Sheet 1)
DP		<div>ALWAYS use given dimensions in preference to scaled measurements.</div> <div>All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work.</div> <div>All materials &amp; works are subject to the corresponding building specification.</div> <div>Report all errors and omissions immediately. If in doubt, ask for advice.</div> <div>Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION'</div> <div>CAD Design &amp; Draft Pty Ltd is the owner of copyright to all information shown on the plans.</div> <div>Plans must not be reproduced without the written consent of CAD Design &amp; Draft Pty Ltd.</div>
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Scale at A3:	1:100
Project No.	23-039

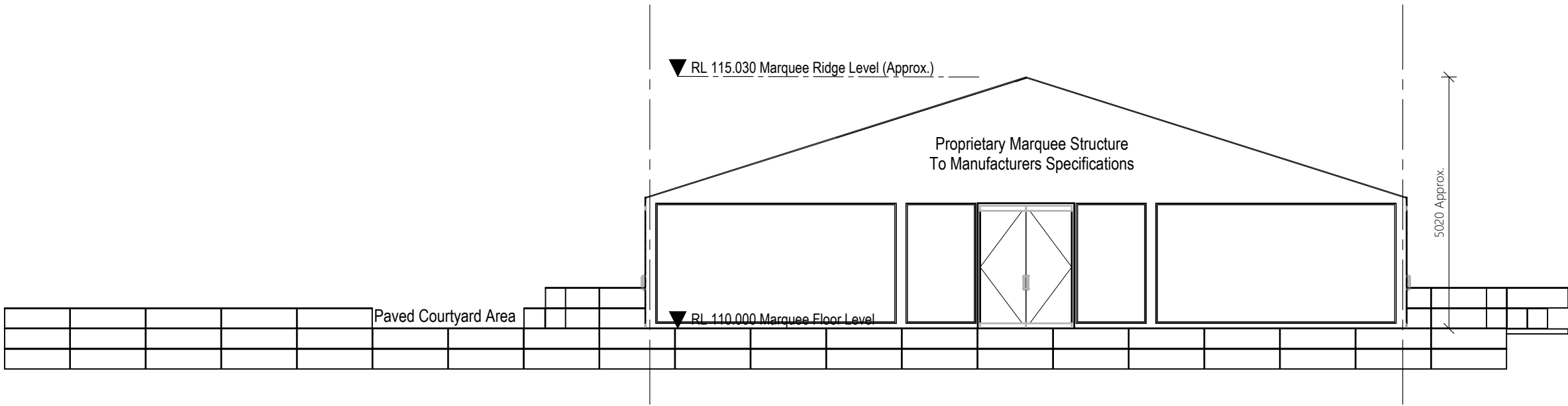
Drawn:	PJB
Checked:	PJB
Drawing No.	M03

Approved	PB
Revision	B



Cellar Door Building - Northern Elevation

SCALE 1:100



Cellar Door Building - Southern Elevation

SCALE 1:100



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Rev	Description	Date	By	Client
A	ISSUED FOR DA	25-9-23	PJB	Two Rivers Winery
B	MARQUEE LENGTH REDUCED	21-12-23	PJB	
Project Status		NOT FOR CONSTRUCTION		

Lot No.	Sec. No.	Drawing Title
1	-	Marquee Elevations (Sheet 2)
DP		ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials & works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION' CAD Design & Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design & Draft Pty Ltd.
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Muswellbrook		

Date:	Drawn:	Approved
November 23	PJB	PB
Scale at A3:	Checked:	
1:100	PJB	
Project No.	Drawing No.	Revision
23-039	M04	B





Artists Impressions



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A	ISSUED FOR DA	25-9-23	PJB	Two Rivers Winery Project Alterations & Additions 2 Yarrawa Rd Denman NSW 2328
B	MARQUEE LENGTH REDUCED	21-12-23	PJB	
Project Status			NOT FOR CONSTRUCTION	

Lot No.	Sec. No.	Drawing Title
1	-	Marquee Artists Impressions
DP		<small>ALWAYS use given dimensions in preference to scaled measurements. All sizes, dimensions and levels are to be checked and confirmed on site by builder prior to ordering materials or commencement of work. All materials &amp; works are subject to the corresponding building specification. Report all errors and omissions immediately. If in doubt, ask for advice. Plans are NOT to be used for construction purposes unless noted 'FOR CONSTRUCTION' CAD Design &amp; Draft Pty Ltd is the owner of copyright to all information shown on the plans. Plans must not be reproduced without the written consent of CAD Design &amp; Draft Pty Ltd.</small>
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Scale at A3:	1:100	Checked:	PJB		
Project No.	23-039	Drawing No.	M05	Revision	B