

PACIFIC BROOK CHRISTIAN SCHOOL C/- NBRS ARCHITECTURE

ACCESS ASSESSMENT REPORT

*Pacific Brook Christian School – 72-74 Maitland St,
Muswellbrook NSW*

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Document Control

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11 July 2024

Cameron Clark

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Jensen Hughes Australia

Providing building regulations, fire engineering, accessibility, and energy consulting services to NSW for over 25 years

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Executive summary

This document provides an assessment of the architectural design drawings for the proposed development at Lot 100 DP1261496, 72-74 Maitland St, Muswellbrook NSW – Stage 1, against the against the Deemed-to-Satisfy provisions relating to Access for Persons with a Disability.

Part 2 'Matters for Further Consideration' of this report outlines the identified compliance issues that require further information or consideration and/or assessment as Performance Solutions.

Any Performance Solution will need to be detailed in a separate report and must clearly indicate methodologies for achieving compliance with the relevant Performance Requirements.

Item	Description	BCA Provision
Performance Solutions Required		
1.	Nil.	
Compliance Matters to be Addressed		
2.	<p>Further design development is required at the accessible and ambulant sanitary facilities to satisfy the BCA and AS1428.1-2009.</p> <ul style="list-style-type: none"> > Provide solid/continuous walls on both sides of the compartment for the full 900mm forward of the WC pan and clear of the washbasin as per AS1428.1-2009 at both male and female ambulant compartments. > The staff unisex accessible facility is required to provide 2350mm compartment width to ensure the proposed shower seat does not encroach into the WC pan circulation space when folded down as per AS1428.1-2009 – current documentation demonstrates that this is likely to occur given the 2260mm compartment width. 	F4D5/F4D6/F4D7
Further Information Required		
1.	Further design documentation is required for assessment of the external paths of travel providing access from the allotment boundary, accessible parking bay and pedestrian link between buildings to the new works to ensure accessibility requirements of AS1428.1-2009 i.e. gradient, crossfall and landings are capable of being achieved.	D4D3

The Annexures of this Report provide detailed assessments of the proposal against all compliance requirements.

NCC 2022 Clause Numbering

BCA2022 uses a new structure and clause referencing system to create better consistency across all volumes of the NCC. While the new Section-Part-Type-Clause system makes the NCC look different at first, it's intended to improve user experience and make it more web accessible.

The new structure results in a reorganisation of specifications and parts, some of which are contained in the table below.

The NCC uses a uniform clause numbering system across each of its three volumes. This system is called Section-Part-Type-Clause (SPTC). In each clause number-

- + The first letter indicates which NCC section or part it sits within;
- + The first number indicates the number of the Part within a section or the number of a Specification.
- + The second letter indicates the clause type. It will be either G, O, F, P, V, D, or C. and these are explained below.
- + The second number is the clause number within each Part of Specification.

The clause Types used in the NCC are as follows:

- + G = Governing requirements (mandatory)
- + O = Objective (guidance)
- + F = Functional Statement (guidance)
- + P = Performance Requirement (mandatory) V = Verification Method (optional)
- + D = Deemed-to-Satisfy Provision (optional)
- + C = Clause in a Specification (can be mandatory or optional depending on how the Specification is called up by the NCC).

1.0 Basis of Assessment

1.1 LOCATION

The building development, the subject of this report, is located at 72-74 Maitland Street, Muswellbrook – Stage 1 only. The projection description is as follows:

The proposed development is for the establishment of a new K-12 school (Pacific Brook Christian School) on the subject site. The proposed development will comprise site preparation and remediation, tree removal, construction of new school buildings, covered outdoor learning area, covered walkways, car parking, landscaping and associated works. The school will accommodate 140 students and 16 staff.

Specifically, Stage 1 will deliver one (1) administration and staff area, five (5) General Learning Areas (GLA's), one (1) science classroom, one (1) staff and student amenities block (including an accessible and ambulant sanitary facilities), Covered Outdoor Learning Area (COLA) and ancillary step/ramp access to each.

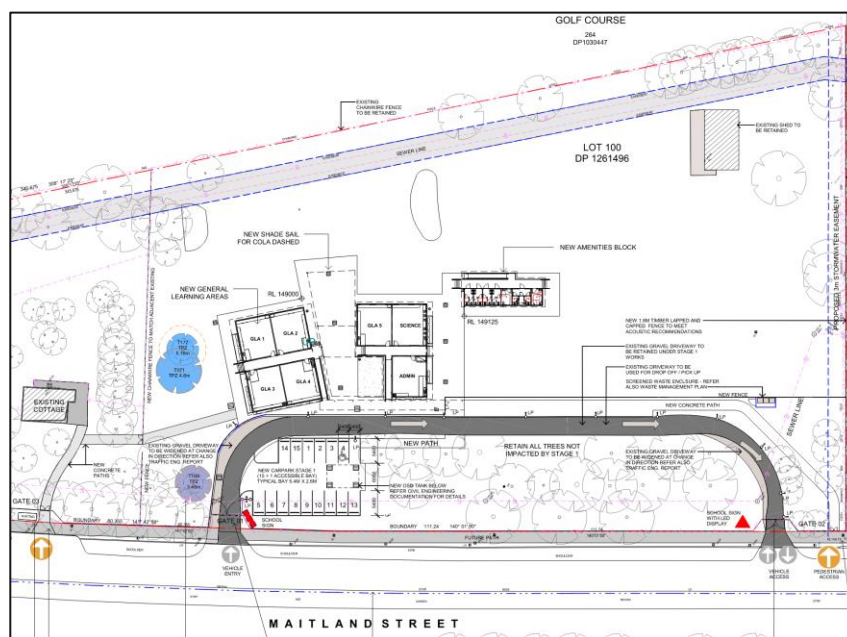


Figure 1 – Stage 1 Site Plan

1.2 PURPOSE

The purpose of this report is to assess the proposed buildings against the documents and their relevant Deemed to Satisfy requirements. The report is intended to clearly outline those areas where compliance is not achieved and provide recommendations to achieve compliance:

- + Disability (Access to Premises – Buildings) Standards 2010 Compilation No. 2 (DAPS);
- + Building Code of Australia 2022 Volume One – Part D4 and Part F4D5/F4D6/F4D7;
- + Muswellbrook' Shire Development Control Plan 2019 (DCP);
- + Applicable Australian Standards AS1428.1:2009, AS1428.4.1:2009 and AS2890.6:2009.

1.3 LIMITATIONS

This report is limited to an assessment of the access and amenity provisions for people with a disability against the documents as outlined in 1.2 above. It is not an assessment of the proposal against all provisions of the BCA and if this is required, a separate report will be necessary.

This report does not include nor imply any detailed assessment for design, compliance or upgrading for:

- + The structural adequacy or design of the building;
- + The inherent derived fire-resistance ratings of any existing or proposed structural elements of the building (unless specifically referred to); and
- + The design basis and/or operating capabilities of any existing or proposed electrical, mechanical or hydraulic services.

This report does not include, or imply compliance with:

- + The Disability Discrimination Act (it cannot be guaranteed that that a complaint under the DDA will not be made, however should the building comply with BCA and the DAPS then those responsible for the building cannot be subject to a successful complaint); and
- + BCA Sections B, C, E (excl. Clauses E3D7 and E3D8), F, G, H, I, J, Parts D2 and D3; and
- + Demolition Standards not referred to by the BCA; and
- + Work Health and Safety Act; and
- + Construction Safety Act; and
- + Requirements of other Regulatory Authorities including, but not limited to, Telecommunications Supply Authority, Water Supply Authority, Electricity Supply Authority, Work Cover, Roads and Maritime Services (RMS), Local Council, ARTC, Department of Planning and the like; and
- + Conditions of Development Consent issued by the Local Consent Authority; and

This Report does not assess the safety of the particular aspects of the building but merely the minimum standards called up by the documents outlined in Part 1.2 of This Report.

1.4 FEDERAL DISABILITY DISCRIMINATION ACT (DDA)

Disability is broadly defined and includes disabilities which are physical, intellectual, psychiatric, neurological, cognitive or sensory (a hearing or vision impairment), learning difficulties, physical disfigurement and the presence in the body of disease causing organisms.

All organisations have a responsibility, under the DDA, to provide equitable, dignified access to goods and services and to premises used by the public. Premises are broadly defined and would include all areas included within the subject development.

The DDA applies nationally and is complaint based. While the DAPS and the BCA are recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA and the referenced standards does not guarantee that a complaint will not be lodged.

1.5 DISABILITY (ACCESS TO PREMISES – BUILDINGS) STANDARDS 2010 COMPILATION NO.2 (DAPS)

The aim of the DAPS is to provide the building and design industry with detailed information regarding the required access provisions associated with the design and construction of new buildings and upgrade to existing buildings.

The DAPS intends to provide certainty for the building industry in relation to meeting the requirements for access in new and upgraded buildings. They only apply to elements addressed within the Standards. All other elements related to premises will still be subject to the existing provisions of the DDA.

The DAPS generally aligns with the BCA and reference a range of Australian Standards relating to access and other associated matters.

They do not apply to existing buildings that are not undergoing upgrade; however they introduce the concept of the “Affected Part”. This means that new works need to be connected to the building’s Principal Pedestrian Entrance (PPE) by a continuous accessible path of travel/accessway complying with AS1428.1-2009. This can mean that an upgrade to the building may be necessary even where no new work is proposed to mitigate the risks of DDA complaints arising in the future.

1.6 DESIGN DOCUMENTATION

This report has been based on the Design plans and Specifications listed in Annexure A of this Report.

1.7 DEFINITIONS

Accessible

Having features to enable use by people with a disability.

Accessway

A continuous accessible path of travel (as defined in AS 1428.1) to, into or within a building.

Affected Part

The affected part is;

1. The principal pedestrian of an existing building that contains a new part; and
 - a. Any part of an existing, that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.
 - b. Continuous Accessible Path of Travel

An uninterrupted path of travel to, into or within a building providing access to all access facilities.

Luminance Contrast

The light reflected from one surface or component, compared to the light reflected from another surface or component.

Ramp

An inclined surface on a continuous accessible path of travel between two landings with a gradient steeper than 1 in 20 but not steeper than 1 in 14.

Tactile Indicators

Tactile Ground Surface Indicators (TGSIs)

Truncated cones and/or bars installed on the ground or floor surface, designed to provide pedestrians who are blind or vision-impaired with warning or directional orientation information

2.0 Key Compliance Considerations

2.1 GENERAL

The following is a summary of all the individual elements that relate directly to the ability of a person with a disability to access all the portions of the building required to be accessible.

Accessibility has been assessed against the documents outlined in Part 1.2 of this Report.

2.2 CLASSIFICATION

Under the provisions of Parts A6 of BCA and Part A4 of the Access Code, the building has been classified as follows:

Table 1: Building Classification

Class	Level	Description
Class 9b	Ground Floor	Classrooms
Class 10a	Ground Floor	Staff & Student Amenities Block

2.3 DIMENSIONS AND TOLERANCES

The Premises Standards and BCA contain the minimum standards for building construction and safety, and therefore generally stipulates minimum dimensions which must be met. Jensen Hughes' assessment of the plans and specifications has been undertaken to ensure the minimum dimensions have been met.

The designer and builder should ensure that the minimum dimensions are met onsite and consideration needs to be given to construction tolerances for wall set outs, applied finishes and skirtings to corridors and bathrooms for example, tiling bed thicknesses and the like which can adversely impact on critical matters such as access for people with disabilities, stair and corridor widths and balustrade heights.

2.4 PERFORMANCE BASED DESIGN – PERFORMANCE SOLUTIONS

Currently no Performance Solutions are proposed to satisfy the relevant Performance Requirements of the BCA.

2.5 COUNCIL'S DEVELOPMENT CONTROL PLAN REQUIREMENTS (DCP)

Muswellbrook Shire DCP Section 9 Local Centre Development provides Council's planning controls on the provision of Accessibility.

The Controls for Accessibility under Clause 9.1.4 of Part 9 of the above referenced DCP are as follows:

Table 2: Controls for Accessibility

Item No	Control	Comment	Compliance
9.1.4 Accessibility	(i) New buildings or buildings undergoing alterations and additions or a change of use	Subject to the items in Part 2.7 of this report, The Development is	DNC/CRA – Refer to part

	are required to provide equitable provision of access to and circulation within the premises for people with disabilities in accordance with the provisions of AS 1428.1.	capable of satisfying relevant requirements of Disability (Access to Premises-Buildings) Standards 2010 (DAPS), relevant Australian Standards such as AS1428.1-2009 and relevant/applicable BCA Clauses contained within Part D4/Clause F4D5 subject to further design development.	2.7 of this Report and Annexure C.
9.1.4 Accessibility	(ii) Continuous accessible paths of travel shall be provided: - from parking spaces, public streets and walkways to building entrance(s); - between buildings, facilities and spaces that are on the same site; - to connect the building entrance(s) with all spaces and facilities within the building; and - to minimise travel distance between each accessible element of the building and of facilities within it.	Further information is required for assessment against the relevant requirements of Disability (Access to Premises-Buildings) Standards 2010 (DAPS), relevant Australian Standards such as AS1428.1-2009 and relevant/applicable BCA Clauses contained within Part D4.	FI – Refer to Annexure C.
9.1.4 Accessibility	(iii) For the purposes of subsection 9.1.4(ii), access shall be provided to and within all the areas or facilities of the building where there is a reasonable expectation of access by any owner, occupier, employee, or visitor. It does not include any area if access would be inappropriate because of the particular purpose for which the area is used.	The Development can be designed to meet the relevant requirements of Disability (Access to Premises-Buildings) Standards 2010 (DAPS) and relevant/applicable BCA Clauses contained within Part D4.	CRA – Refer to Annexure C.
9.1.4 Accessibility	(iv) Council may vary these provisions if compliance will cause major difficulties or unjustifiable hardship to a person or organisation. Each claim for unjustifiable hardship is determined on a case by case basis taking into account the following: - Whether there is a benefit or a detriment to any person concerned; - How it affects the disability of the person concerned; and - The financial cost.	For noting.	Noting.

2.6 AREAS REQUIRED TO BE ACCESSIBLE

The following areas of the building are required to be accessible:

Table 3: Areas Required to be Accessible

Area / Room	Description
Class 9b Classrooms	To and within all areas normally used by the occupants at the school.

Area / Room	Description
Class 10a Amenities Block	To and within the accessible sanitary facility, change room, public shelter or the like within the public non-habitable building

Note: The limitations and exemptions of Clauses D4D3, D4D4 and D4D5 of the BCA and Access Code been considered where applicable in the process of developing the above table.

2.7 DESIGN ITEMS REQUIRING ATTENTION

Assessment of the architectural design documentation against the Deemed-to-Satisfy Access Provisions of the Building Code of Australia (BCA2022), and other Codes and Standards as referenced in this report, has revealed the following areas where compliance with the BCA may require further consideration.

BCA/DAPS D4 – Access for people with a disability

2.7.1 BCA Clause D4D2 – General building access requirements

Generally, a continuous accessible path of travel can be provided from the entrance of each building and to and within each GLA. Doorways across the development (where required) must be accessible. If doorways are to be manually operated, they must have the following accessible feature:

- Minimum of 850mm clear width (920mm doors) including active leaf for double doorways.
- Circulation space in line with Clause 13.3 of AS1428.1-2009 as shown in Figures 31 & 32.
- 30 % Luminance contrast at doorways in line with Clause 13.1 of AS1428.1-2009.
- Level transition thresholds into GLA spaces and offices or a threshold ramp for a max. rise of 35mm as per AS1428.1-2009.

The above requirements can readily be coordinated and addressed to comply during subsequent detailed development stages, post-DA.

Refer to Annexure B – Compliance Specifications.

2.7.2 BCA Clause D4D3 – Access to buildings

The Development at the current stage of DA documentation has demonstrated the provision of accessways that are capable of complying with AS1428.1-2009 and D4D3 of the BCA as per following:

- > New gates (Gate 02 & Gate 03) and a pedestrian entrance at each gate is proposed at the allotment boundary running along Maitland Terrace footpath with an accessway leading to the building(s) associated with Stage 1; and
- > An accessway is proposed to provide suitable access between buildings associated with Stage 1 via a pedestrian link connecting building blocks and a 1:14 ramp at each building block to satisfy this clause; and
- > An accessway is proposed from the accessible parking bay via a kerb ramp and pedestrian walkway leading to the building(s) associated with Stage 1.

Please note the following:

- > Further design documentation is required for assessment of the external paths of travel providing access from the allotment boundary, accessible parking bay and pedestrian link between buildings to the new works to ensure accessibility requirements of AS1428.1-2009 i.e. gradient, crossfall and landings are capable of being achieved.

2.7.3 BCA Clause D4D4 - Parts of buildings to be accessible

The Development can readily satisfy the requirements of BCA Clause D4D4 at the current stage of architectural design documentation.

Refer to Annexure B – Compliance Specifications for further comments.

2.7.4 BCA Clause D4D5 of the BCA – Exemptions

No exemption has been applied to this development.

2.7.5 BCA Clause D4D6 – Accessible car parking

Documentation indicates one (1) accessible carparking space being provided as part of Stage 1 which satisfies the requirements of the BCA and notes spatial dimensions to provide a 2400mm x 5400mm accessible carparking space and associated shared space as per the requirements of AS/NZS 2890.6-2009.

Further design documentation during subsequent detailed design development stages post-DA, will allow for a more accurate assessment to ensure all elements comply with the requirements of AS/NZS 2890.6-2009.

Refer to Annexure B – Compliance Specifications.

2.7.6 BCA Clause D4D7 – Signage

This detailed non-spatial planning requirement can readily be coordinated, detailed and addressed to comply during subsequent detailed design development stages, post-DA.

Refer to Annexure B – Compliance Specifications.

2.7.7 BCA Clause D4D8 – Hearing Augmentation

Hearing Augmentation is only required when classrooms are to be provided with in built amplification systems. This detailed requirement can readily be coordinated, detailed and addressed to comply during subsequent detailed design development stages, post-DA.

Refer to Annexure B – Compliance Specifications.

2.7.8 BCA Clause D4D9– Tactile indicators

This detailed non-spatial planning requirement can readily be coordinated, detailed and addressed to comply during subsequent detailed design development stages, post-DA.

Refer to Annexure B – Compliance Specifications.

2.7.9 BCA Clause D4D10 – Wheelchair seating spaces in Class 9b assembly buildings

There is no fixed seating proposed as part of this development.

2.7.10 BCA Clause D4D11 – Swimming pools

There are no swimming pool facilities proposed.

2.7.11 BCA Clause D4D12 – Ramps

It appears that all ramps proposed across this development are less than 3.6m in vertical rise and thus this clause is not-applicable.

Refer to Annexure B – Compliance Specifications.

2.7.12 BCA Clause D4D13 – Glazing on an accessway

This detailed requirement can readily be coordinated and addressed to comply during subsequent detailed development stages, post-DA.

Refer to Annexure B – Compliance Specifications.

Part E3 Lift Installations

2.7.13 BCA Clause E3D7/E3D8 – Passenger Lift Types and their Limitations/Accessible Features Required for Passenger Lifts

No form of passenger lift is proposed as part of the Stage 1 development.

Refer to Annexure B – Compliance Specifications.

Part F4 Sanitary and other facilities

2.7.14 BCA Clause F4D5/F4D6/F4D7– Accessible Sanitary Facilities/Accessible Unisex Sanitary Compartments/Accessible Unisex Showers

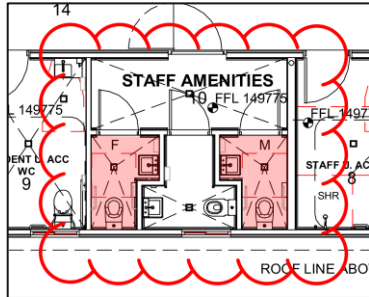
The Development proposes an Amenities Block which includes the following sanitary facilities:

- > One (1) Staff unisex accessible sanitary facility with shower;
- > Staff amenities including one (1) male and one (1) female ambulant sanitary compartment;
- > One (1) student unisex accessible sanitary facility;
- > Male Middle amenities (including an ambulant sanitary compartment);
- > Female Middle amenities (including an ambulant sanitary compartment);
- > Male Junior amenities (including an ambulant sanitary compartment); and
- > Female Junior amenities (including an ambulant sanitary compartment).

Further design development is required as per the following:

- > At both male and female staff ambulant compartments, provide solid/continuous walls on both sides of the compartment for the full 900mm forward of the WC pan and clear of the washbasin as per AS1428.1-2009. While not referenced in BCA2022, the updated standard being AS1428.1-2021 has further clarified this requirement (see Figure 52(B) of AS1428.1-2021 below). Currently the washbasin still located adjacent to the 900x900mm circulation zone with no solid wall on each side of the 900 x 900mm circulation zone.
- > The staff unisex accessible facility is required to provide 2350mm compartment width to ensure the proposed shower seat does not encroach into the WC pan circulation space when folded down as per AS1428.1-2009 – current documentation demonstrates that this is likely to occur given the 2260mm

compartment width. Consider reducing the width of the student unisex accessible WC (while maintaining WC pan circulation space) to accommodate for this.



Staff Amenities

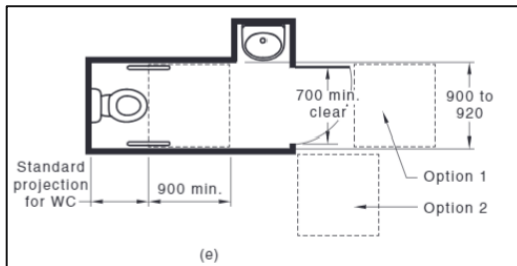


Figure 52(B) of AS1428.1-2021

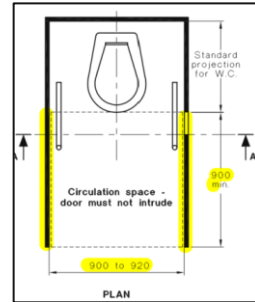
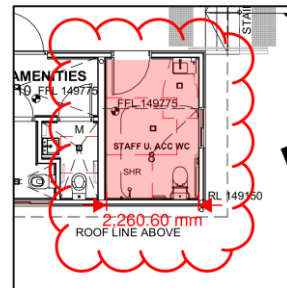


Figure 53(A) of AS1428.1-2009



Staff Unisex Accessible WC

Noting the above, the compartments are otherwise capable of complying with the spatial requirements to accommodate all the required circulation spaces around a WC pan, a washbasin, shower recess and at/within an ambulant sanitary compartment in line with AS1428.1-2009 and can readily satisfy BCA Clause F4D5/F4D6/F4D7 requirements, subject to further design refinement during subsequent detailed design development stages, post-DA.

Refer to Annexure B – Compliance Specifications.

Annexures

Annexure A - Design Documentation

This report has been based on the following design documentation.

Table 4: Architectural Plans

Architectural Plans Prepared by NBRS			
Drawing Number	Revision	Date Title	Title
19055-NBRS-DR-A-DA01	3	21/06/2024	Cover Sheet and Drawing List
19055-NBRS-DR-A-DA14	5	21/06/2024	Stage 1 Site Plan
19055-NBRS-DR-A-DA15	4	21/06/2024	Stage 1 Demolition
1905-NBRS-DR-A-DA16	5	21/06/2024	Stage 1 Floor Plans
19055-NBRS-DR-A-DA17	3	21/06/2024	Stage 1 – Elevations – Sheet 1
19055-NBRS-DR-A-DA18	3	21/06/2024	Stage 1 – Elevations - Sheet 2
19055-NBRS-DR-A-DA19	3	21/06/2024	Stage 1 Sections

Annexure B - Compliance Specification

Design Certification

Further due to the level of detail provided at this stage the following items are to form part of a design statement or specification:

General

1. Tactile ground surface indicators will be installed at the top and bottom of stairways / ramps (other than fire isolated stairways / ramps); and where an overhead obstruction is less than 2 metres above the floor level. Tactile ground surface indicators will comply with Sections 1 and 2 of AS1428.4.1-2009 (incl. Amendments 1 and 2).
2. Hearing Augmentation System as per D4D8 of the BCA is required to be applied where an inbuilt application system is installed.
3. On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.6 of AS1428.1-2009. A solid non-transparent contrasting line not less than 75mm wide is to extend across the full width of the glazing panel. The lower edge of the contrasting line is to be located between 900-1000mm above the plane of the finished floor level. The contrasting line is to provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.
4. All doorways will have a minimum luminance contrast of 30% in accordance with Clause 13.1 of AS1428.1-2009.
5. Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Clause 15 of AS1428.1-2009.
6. Fixtures and fittings in ambulant facilities will be provided and installed in accordance Clause 16 of AS1428.1-2009.
7. Walkways will comply with Clause 10 of AS1428.1-2009.
8. For the walkways, the floor or ground surface abutting the sides of the walkway will be firm and level of a different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided with a kerb or kerb rail in accordance with Clause 10.2 of AS1428.1-2009.
9. Stairways will comply with Clause 11 of AS1428.1-2009.
10. Handrails will comply with Clause 12 of AS1428.1-2009.
11. Grabrails will comply with Clause 17 of AS1428.1-2009.
12. Accessible car spaces will achieve compliant headroom clearances in accordance with Clause 2.4 of AS2890.6-2009. Refer to below for diagrammatic explanation.

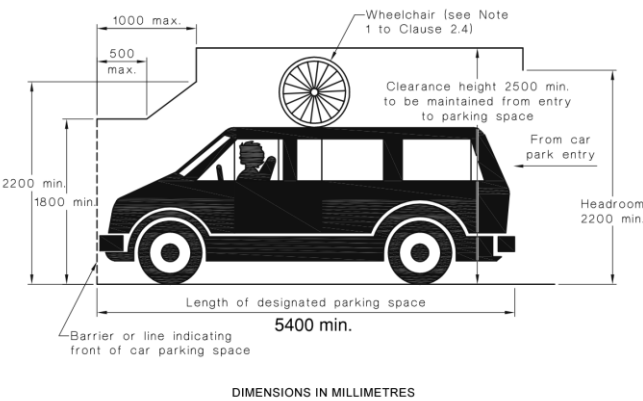


FIGURE 2.7 HEADROOM REQUIRED ABOVE CAR SPACES FOR PEOPLE WITH DISABILITIES

13. Demarcation will be provided in the accessible car space and adjacent shared zone in accordance with Clause 3.1 and 3.2 of AS2890.6-2009. Refer to below for diagrammatic explanation.

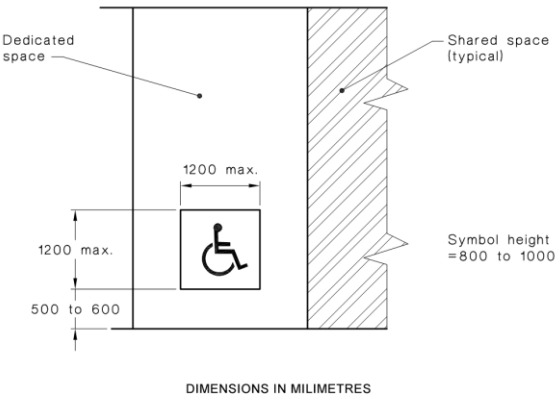


FIGURE 3.1 USE OF SYMBOL OF ACCESS TO IDENTIFY SPACES

14. Bollards will be provided in the shared disabled car space area in accordance with Clause 2.2.1(e) of AS2890.6-2009. Refer to below for diagrammatic explanation.

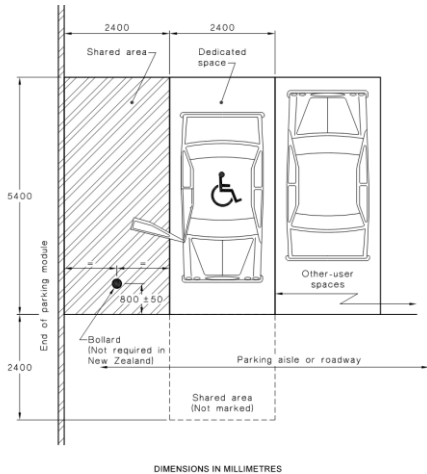


FIGURE 2.2 EXAMPLE OF AN ANGLE PARKING SPACE WITH SHARED AREA ON ONE SIDE ONLY—DIMENSIONS FOR AUSTRALIA ONLY*

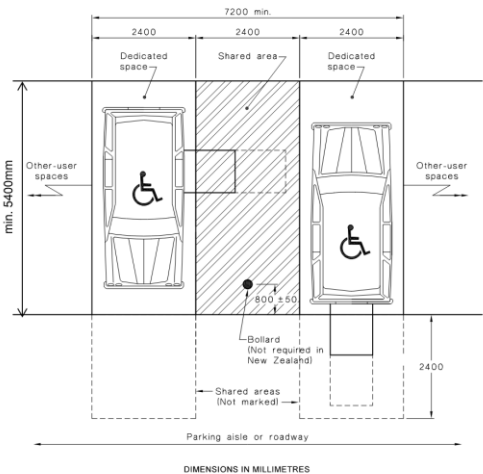


FIGURE 2.3 EXAMPLE OF TWO PARKING SPACES WITH A COMMON SHARED AREA—DIMENSIONS FOR AUSTRALIA ONLY*

15. Switches and power points will comply with Clause 14 of AS1428.1-2009.

16. Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Clause 7 of AS1428.1-2009. Any level difference over 3mm must be ramped according AS1428.1 Clause 10.5.
17. Braille and tactile signage will comply with BCA Clause D4D7 and Specification 15.
18. Signage will need to comply with Clause 8 of AS1428.1-2009.
19. The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways. Refer to below for diagrammatic explanation.

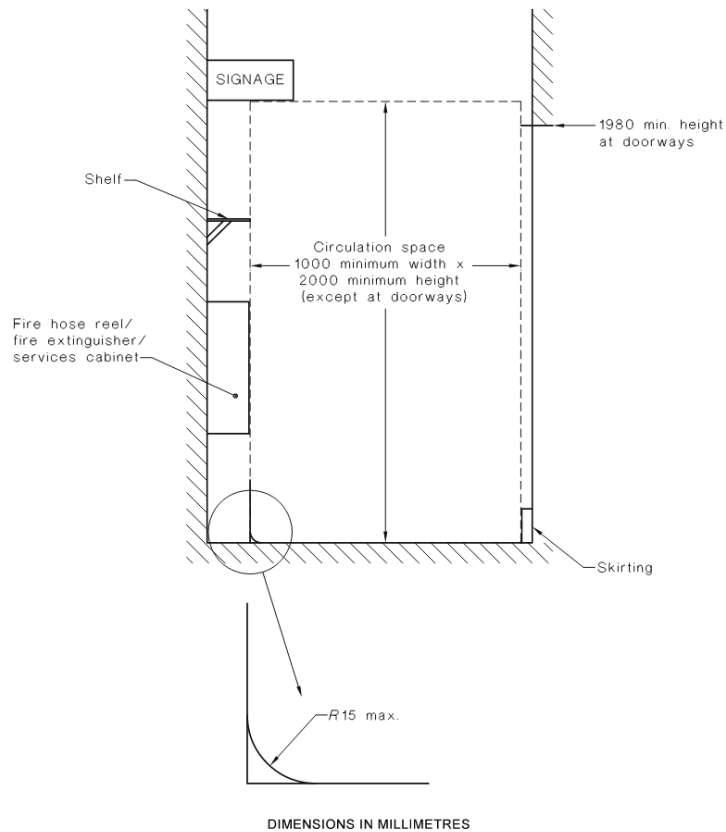


FIGURE 2 CONTINUOUS ACCESSIBLE PATH OF TRAVEL—MINIMUM HEIGHT AND WIDTH

20. Door handles and the like, will be in accordance with Clause 13.5 of AS1428.1-2009.