

STATEMENT OF ENVIRONMENTAL EFFECTS

Development Application for Change of Use and Minor Works

At 75 Bridge Street, Muswellbrook NSW



Date: 20 December 2024
Project Ref: 232402
Address: 75 Bridge Street, Muswellbrook NSW
LGA: Muswellbrook Shire

GILES
PLANNING

DOCUMENT CONTROL

Rev	Author	Description	Date
01	Lachlan Giles	Draft for Client Review	20/12/24
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EXECUTIVE SUMMARY

This Statement of Environmental Effects has been prepared to support a Development Application for a change of use and minor works of the former masonic lodge located at 75 Bridge Street, Muswellbrook. The change of use is proposed to allow for a church on the first floor. This Statement of Environmental Effects addresses the relevant statutory framework applicable to the subject site, to which the proposed change of use is found to be consistent.

The proposed change of use to be as a 'place of public worship', as defined by the *Standard Instrument – Principal Local Environmental Plan*. The subject site is zoned E2 – Commercial Centre under the *Muswellbrook Local Environmental Plan 2009*, for which the proposed use is permissible with consent.

The proposed change of use and associated minor works require assessment under Part 4 of the *Environmental Planning and Assessment Act 1979*, for which Muswellbrook Shire Council is the consent authority.

Minor works are required, primarily to ensure compliance with accessibility standards. These works include the installation of a lift, accessible toilets, and reconfiguration of the front foyer area. In providing accessibility improvements, the design has been sympathetic to the heritage value of the heritage listed building.

This Statement of Environmental Effects demonstrates that the proposed development is generally consistent and compliant with the aims and objectives of relevant planning instruments and controls.

Based on the outcomes of the assessment detailed in this Statement of Environmental Effects, the proposed change of use and associated minor works are recommended for Council's support.

1. INTRODUCTION

This Statement of Environmental Effects (SEE) has been prepared to support a development application (DA) under Part 4 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). The DA is for alterations and the change of use of the first floor of the building located at 75 Bridge Street, Muswellbrook NSW 2333 (the 'Project Site'). The Project Site is currently utilised as a food bank on the ground floor and the first floor is unoccupied.

The proposed works change of use relates to the proposed operation of a church located on the first floor. The proposed land use is categorised as a 'place of public worship, as defined by the *Standard Instrument – Principal Local Environmental Plan* (Standard Instrument). Minor works are required, primarily to ensure compliance with accessibility standards. These works include the installation of a lift, accessible toilets, and reconfiguration of the front foyer area.

The purpose of this SEE is to:

- Describe the existing context of the Project Site – **Section 2**;
- Describe the proposed development – **Section 3**;
- Detail the relevant statutory framework for the proposed development, including addressing applicable Environmental Planning Instruments (EPIs) and the Muswellbrook Development Control Plan 2009 (DCP) – **Section 4**;
- Provide an assessment of the potential environmental impacts – **Section 5**; and
- Provide an evaluation of the proposed development – **Section 6**.

This SEE is supported by plans and reports, including:

- Site Plans - **Appendix A**;
- Site Photographs – **Appendix B**;
- A Statement of Heritage Impact – **Appendix C**;
- An Access Report – **Appendix D**; and
- A Waste Management Plan – **Appendix E**.

2. SITE CONTEXT

The Project Site is located at 75 Bridge Street, Muswellbrook, in the Muswellbrook Shire local government area (LGA) and is legally described as lot 1 in deposited plan (DP) 558793. **Figure 1** shows the locality of the Project Site.

The Project Site is situated along the main street of Muswellbrook, surrounded by commercial businesses. The lot is rectangular in shape with an area of approximately 460m² and comprises a two-storey building previously used as a masonic lodge. The building has a shop-front awning with an existing fascia sign and under awning sign.

The building is accessible from the street front, with a laneway access available on the southern site boundary. An open, grassed area is located at the rear of the building.

Historically, the building has been used as a masonic lodge, typically involving large gatherings on the first floor of the building. The building has also recently commenced operations as a shop on the ground floor shop, fronting Bridge Street.

Figure 1: Project Site Locality



3. PROJECT DESCRIPTION

The development application is for the change of use and minor works of the building located at 75 Bridge Street, Muswellbrook.

3.1 Proposed Use

The proposed change of use is to allow for the operation of a church, as a 'place of public worship', located on the first floor of the building located at 75 Bridge Street, Muswellbrook.

Church services would be held on Sundays, with smaller congregations occurring throughout the week for related activities such as prayer, meetings, or similar gatherings. Church services typically involve approximately 40 attendees.

Church services would take place on the first floor and typically involve bible talks, prayer and worship and will be no louder than what is generally heard at this location. The church does not observe any notable cultural practices such as the ringing of bells or incense burning.

Sunday services would typically be held between 2pm and 3:30pm.

The ground floor shop would continue to operate in accordance with Development Consent 2023/35.

3.2 Minor Works

Construction works are required to modify the entry and foyer area of the building, primarily to ensure compliance with accessibility standards. The proposed alterations include the demolition of the existing shopfront features, construction of a new entry foyer and frontage, installation of a lift and accessible toilet, new stairs, construction of a new upper foyer area, and associated minor works, as detailed in the plans provided (refer to **Appendix A**).

The intention of the church is to commence gathering and utilising the building prior to undertaking these minor works, allowing the community to begin benefiting from the premises while further funding is secured for the construction phase. It is acknowledged that such modifications, while critical, represent a significant financial investment that is currently cost-prohibitive. The church aims to complete the works in the near future as funding becomes available.

To facilitate this approach, the church respectfully requests that Council consider a condition of consent allowing occupation to commence prior to the completion of the minor works, with the understanding that these works must be completed and certified by a specified date. This flexibility would support the church in achieving its objectives while ensuring compliance with accessibility standards within a reasonable timeframe.

4. STATUTORY CONTEXT

4.1 Environmental Planning and Assessment Act 1979

The EP&A Act is the principal legislation overseeing the assessment and determination of development proposals in NSW. The objects of the EP&A Act generally seek to promote the orderly use and development of land, the proper construction and maintenance of buildings, and the good design of the built environment.

The proposed development requires assessment under Part 4 of the EP&A Act, for which Muswellbrook Shire Council (Council) is the consent authority. Section 4.15 of the EP&A Act identifies the relevant matters to be considered by Council in their assessment and determination of the proposed development.

4.2 State Environmental Planning Policies

There are no State Environmental Planning Policies applicable for the proposed development on the subject land.

4.3 Muswellbrook Local Environmental Plan 2009

The Project Site is located within the Muswellbrook LGA, to which the *Muswellbrook Local Environmental Plan 2009* (LEP) applies. **Table 1** outlines the land use zoning, principal development standards and other matters relevant for the Project Site.

Further discussion of relevant sections of the LEP are discussed in the below subsections.

Table 1: Applicable Planning Controls

Applicable Planning Controls		Comment
Zoning	E2 – Commercial Centre	Proposed use is permissible with consent
Height of Building	13 m	No change to the building height
Floor Space Ratio (FSR)	2:1	No change to the FSR
Heritage	<ul style="list-style-type: none">Masonic Lodge (I68)Muswellbrook Business Heritage Conservation Area (C3)	The Project Site is a listed local heritage item and also forms part of a Heritage Conservation Area. As the Project relates to a change of use and minor works are proposed, a Statement of Heritage Impact (SoHI) has been prepared (refer to Appendix C).
Acid Sulfate Soils	None Mapped	Not Applicable

Clause 2.3 Land Use and Objectives

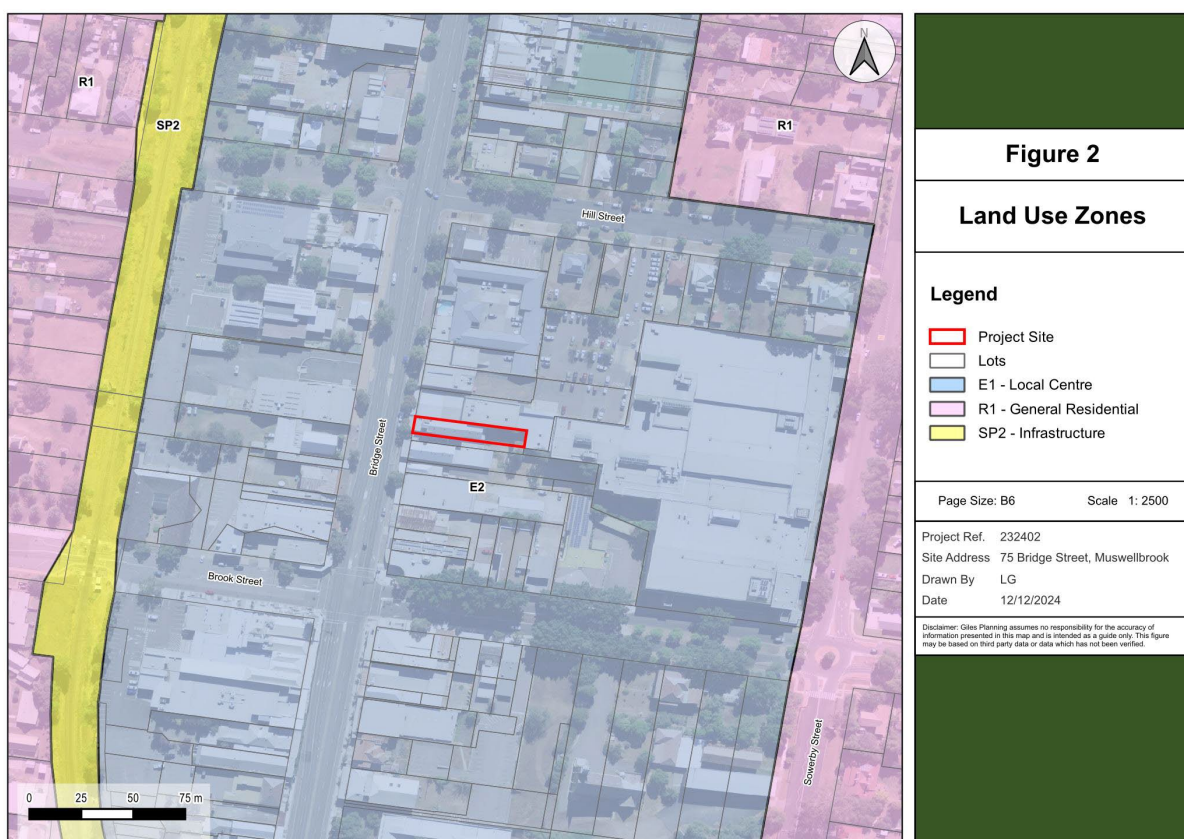
The proposed church is characterised as a ‘place of public worship’, which is permissible land use with consent in the E2 – Commercial Centre zone. Land use zones are shown on **Figure 2** below.

The objectives of the E2 – Commercial Centre zone are:

- To provide a range of retail, business and community uses that serve the needs of people who live in, work in or visit the area.
- To encourage investment in local commercial development that generates employment opportunities and economic growth.
- To enable residential development that contributes to a vibrant and active local centre and is consistent with the Council's strategic planning for residential development in the area.
- To encourage business, retail, community and other non-residential land uses on the ground floor of buildings.
- To ensure that land uses in the local centre do not adversely impact the amenity of nearby residential areas.
- To maintain heritage character and values in streetscapes

The proposed change of uses supports the objectives of the E2 – Commercial Centre zone by providing additional community uses and services for the local community. Proposed minor works have been designed to maintain the heritage value of the heritage listed building.

Figure 2: Land Use Zones



Clause 5.10 Heritage Conservation

The Project Site is listed as a local heritage item (Masonic Lodge, ID:I68) and is located within a Heritage Conservation Area (Muswellbrook Business Heritage Conservation Area, ID:C3). The objective of Clause 5.10 is to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views.

In accordance with Clause 5.10(4), the consent authority must consider the effect of a proposed development on the heritage significance of the item or area.

A SoHI has been prepared to assess the impact of the proposed development on the significance of the Heritage Conservation Area, the Heritage item itself and Heritage items in the vicinity.

The SoHI assessment concludes that the proposed works will make a functional improvement without detracting from the Heritage Conservation Area or Heritage items in the vicinity. The proposed works will remove intrusive additions and provide more sympathetic replacement, improving the presentation of the Heritage Item.

The SoHI is provided in **Appendix C**.

4.4 Development Control Plan

The Muswellbrook Development Control Plan 2009 (DCP) provides guidance for the design of development and buildings within the Muswellbrook Shire LGA.

Table 2 addresses the application of relevant controls of the DCP for the proposed modification.

Table 2: Relevant Muswellbrook DCP Requirements

Development Controls	Comment	Compliant
Section 3 – Site Analysis		
<i>Section 3.2 Site Analysis Required</i>	<p>A Site Analysis is required. It is noted that the DCP allows for either a Plan or Statement.</p> <p>Plans have been prepared to show the site (refer to Appendix A).</p> <p>A Site Analysis Statement is provided below in response to Section 3.4 of the DCP.</p>	Yes
<i>Section 3.3 Site Analysis Plan</i>	<p>The DCP allows for either a Plan or Statement. A Statement with supporting photographs has been provided to adequately display the character of the site and surrounding area.</p> <p>Regardless, plans have also been prepared to show the site (refer to Appendix A).</p>	N/A

<p><i>Section 3.4 Site Analysis Statement</i></p>	<p>Photographs of the surrounding area are provided in Appendix B.</p> <p>As described in Section 4.3 above, the proposed use as a 'place of public worship' is a permissible land uses (with consent) in the E2 – Commercial Centre zone.</p> <p>The Project Site is not mapped as 'bushfire prone'.</p>	<p>Yes</p>
<p>Section 9 – Local Centre Development</p>		
<p><i>Section 9.1.1 Building Design</i></p>	<p>The proposed minor works have been designed to be sympathetic to the heritage of the existing building. The SoHI (Appendix C) assesses the impact to heritage character of the building and concludes that the proposed works will make a functional improvement without detracting from the Heritage Conservation Area or Heritage items in the vicinity. The proposed works will remove intrusive additions and provide more sympathetic replacement, improving the presentation of the Heritage Item.</p> <p>A replacement awning will be provided to provide continuous shelter for pedestrians. The proposed awning will be a minimum height of 4.5 m.</p> <p>The inclusion of new windows on the building frontage provides visual interest and variation to the building façade. The proposed new entryway, with signage and awning, provides a well-defined entrance.</p>	<p>Yes</p>
<p><i>Section 9.1.3 Setbacks</i></p>	<p>The proposed new foyer will replace the existing entrance and foyer area. There is no proposed change to the existing front setback, providing a continuous street frontage.</p>	<p>Yes</p>
<p><i>Section 9.1.4 Accessibility</i></p>	<p>The proposed development involves a change of use and minor alterations, for which the DCP requires the provision of suitable access to the building for people with a disability in accordance with AS 1428.1.</p> <p>An Access Report has been prepared by a suitably qualified professional to address accessibility requirements (refer to Appendix D). The report addresses accessibility for the new parts of the building, the principal pedestrian entry and the path of travel between these two areas. Recommendations identified by the Access Report are discussed in Section 5.3 below.</p> <p>Overall, the proposed design is generally found to be in accordance with AS 1428.1</p>	<p>Yes</p>
<p><i>Section 9.2.2 Car Parking</i></p>	<p>Car parking provisions are discussed further below (refer to Section 16 of this Table).</p>	<p>Yes</p>

<i>Section 9.2.4 Signage and Advertising</i>	New signage is proposed at the building entry to provide clear building identification and a well-defined entrance.	Yes
Section 14 – Outdoor Signage		
<i>Section 14.3 Signage Design, Location and Content</i>	<p>The proposed development involves the installation of a new sign above the building entry, providing clear building identification and a well-defined entrance.</p> <p>The new sign will be placed above the entrance, on the building façade and integrated into the design.</p>	Yes
Section 15 – Heritage Conservation		
<i>Section 15.1.3</i>	<p>The proposed minor works have been designed to be sympathetic to the heritage of the existing building. The SoHI (Appendix C) assesses the impact to heritage character of the building and concludes that the proposed works will make a functional improvement without detracting from the Heritage Conservation Area or Heritage items in the vicinity. The proposed works will remove intrusive additions and provide more sympathetic replacement, improving the presentation of the Heritage Item.</p> <p>The SoHI is provided in Appendix C.</p>	Yes
Section 16 – Car Parking and Access		
<i>Section 16.3 Non-Residential Development</i>	Car parking is to be provided in accordance with the requirements of Section 16.6 of the DCP and is discussed further below in this Table.	No
<i>Section 16.5.5 Change of Use</i>	Car parking requirements for a change of use DA are to be in accordance with the rates prescribed in Section 16.6 of the DCP, unless otherwise supported by Council.	No

<p><i>Section 16.6 Car Parking Schedule for Specific Land Uses</i></p>	<p>For a place of public worship, the DCP provides the requirement of 1 space per 10 fixed seats or 1 space per 10m² of gross floor area (GFA).</p> <p>There are no fixed seats on the first floor. The total GFA for the first floor is 126 m². Therefore, the DCP requires the provision of 12 car parks.</p> <p>The DCP also states that any non-compliance to parking requirements must be supported by justification that adequate parking will be provided.</p> <p>It is understood two parking spots are provided at the rear of the neighbouring properties (63-73 Bridge Street). No additional parking is provided by this DA. Discussion and justification on parking is provided in Section 5.2 of this SEE below.</p>	<p>No</p>
<p>Section 24 – Waste Minimisation and Management</p>		
<p><i>Section 24.3.1 Demolition of Buildings or Structures</i></p>	<p>A Site Waste Minimisation and Management Plan has been prepared to accompany the proposed development (refer to Appendix E).</p>	<p>Yes</p>
<p><i>Section 24.3.2 Construction of Buildings or Structures</i></p>	<p>A Site Waste Minimisation and Management Plan has been prepared to accompany the proposed development (refer to Appendix E).</p>	<p>Yes</p>
<p><i>Section 24.4.3 Commercial Developments and Changes of Use</i></p>	<p>A place of public worship is not listed in the DCP as a commercial development for the purposes of estimating operational wastes. Regardless, operation wastes are not expected to be significant given the limited number of operating hours. Approximately 20L of general waste and 10L of recyclable waste is estimated to be generated during operation each week.</p>	<p>Yes</p>

5. ENVIRONMENTAL ASSESSMENT

The proposed change of use does not involve any construction or fit out works. The environmental assessment considers impacts associated with site suitability and function.

5.1 Heritage

The Project Site is listed as a local heritage item and is located within a heritage conservation area, being:

- Masonic Lodge (I68)
- Muswellbrook Business Heritage Conservation Area (C3)

A SoHI has been prepared to assess the impact of the proposed development on the significance of the Heritage Conservation Area, the Heritage item itself and Heritage items in the vicinity.

The SoHI assessment concludes that the proposed works will make a functional improvement without detracting from the Heritage Conservation Area or Heritage items in the vicinity. The proposed works will remove intrusive additions and provide more sympathetic replacement, improving the presentation of the Heritage Item.

Two recommendations are made in the SoHI:

- Details of coursing, mortar joints, parapet and masonry arches etc are included within detailed documentation for construction. There is no need to replicate masonry detailing of the host building but rather to use detailing to assist in the legibility of this front addition as a contemporary element.
- The original balustrade should be retained, and any secondary handrails are to be installed as necessary to meet the requirements of the National Construction Code.

The SoHI is provided in **Appendix C**.

5.2 Parking

The DCP provides the following requirements for a place of public worship:

- 1 space per 10m² of GFA.

The GFA of the first floor is 126 m². Therefore, the DCP requires the provision of 12 car parks.

The DCP also states for applications relating to the change of use of a building, *“Parking requirements for the proposed use shall be in accordance with the rates prescribed in the attached schedule. Any non-compliance will need to be accompanied by justification and may not be supported by Council if it is not satisfied that adequate parking will be provided.”*

The Project Site does not have any vehicular access from Bridge Street.

Although there is a cleared area at the rear of the building, the development of a car park area is not considered feasible given road access for the Project Site is unachievable. An alternative access point from the neighbouring property would also be considered unachievable given the uneven and partly developed terrain at the rear of the building at 73 Bridge Street.

A laneway exists further south of the Project Site, between the buildings located at 63 Bridge Street and 73 Bridge Street (refer to Photograph 2 of **Appendix B**). The laneway provides access to an existing rear car parking area. It is understood two car parks are allocated for the occupants of 75 Bridge Street in this car park area.

On-street parking is readily available on Bridge Street and the nearby side streets, allowing parishioners to park nearby and access the church on foot. The availability of on-street parking is expected to be adequate during the operational hours of the church given this is outside of critical parking times of mainstream commercial businesses within the CBD.

In addition, the location of the church in the Muswellbrook CBD allows for residents living in close proximity to access on foot. Pedestrian access is provided from the ground floor at Bridge Street, with high quality footpaths available in the vicinity.

Therefore, although the church does not provide 12 car parks required by the DCP, it is proposed that the development could be supported without any on-site car parking for the following reasons:

- the site is unable to cater for any on-site parking,
- the provision of two car parking spaces in the adjacent car parking area,
- the availability of on-street parking on Bridge Street and side streets during off-peak parking times,
- the location of the church in the CBD catering for nearby residents, and
- the quality of footpaths available.

5.3 Access

The minor works subject to this DA are proposed to ensure the building complies with contemporary accessibility standards, providing equitable and inclusive access for all users. The modifications aim to address existing barriers and align the premises with relevant statutory requirements, including the *Disability Discrimination Act 1992* and the National Construction Code.

Key works include the demolition of the existing shopfront features and the construction of a new entry foyer and frontage designed to provide a seamless and accessible transition from external to internal spaces. The installation of a lift and an accessible toilet, alongside new stairs and an upper foyer area, are intended to facilitate accessibility, enhancing the overall functionality and usability of the building.

An Access Report has been prepared to provide an assessment of the existing building and to demonstrate consideration of access for people with a disability. The report considers the application of the access requirements under the *Disability (Access to Premises – Buildings) Standards 2010* (Premises Standards), Building Code of Australia (BCA) and relevant standards. The Access Report is provided in **Appendix D**.

The Access report addresses accessibility for the new parts of the building, the principal pedestrian entry and the path of travel between these two areas. Overall, the proposed design is generally found to be in accordance with AS 1428.1.

In the absence of detailed design, to ensure accessibility is achieved, the following requirements and recommendations are made:

- Ensure the external landing to Bridge Street has a gradient not steeper than 1:40,

- Ensure doorways have a minimum clear opening width of 850mm,
- Ensure lift doors have a minimum clear opening width of 900mm,
- Where the transition between floor surfaces is not flush, ensure a suitable ramped threshold is to provided,
- Ensure doorway features comply with AS 1428.1, such as luminance contrast, opening force of the doors, glazing identification, and door hardware.
- Obtain certification from the lift supplier regarding compliance with BCA,
- Ensure the new stairs have accessible features complying with AS 1428.1,
- Accessibility upgrades for the existing stairs are to be undertaken, to the extent possible, given the existing heritage significance of the timber balustrade,
- Non-slip edge strips to be applied to the existing stairs with a minimum 30% luminance contrast, for 50mm-75mm deep, across the full width of the stairs. Edge strips may be set back a maximum of 15mm from the front of the nosing and are not to extend down the riser more than 10mm,
- New handrails to be installed on the existing stairs to comply with AS 1428.1,
- Ensure tactile ground surface indicators are provided at the top and bottom of stairs, complying with AS 1428.1,
- Ensure the new accessibility toilet features comply with AS 1428.1, including fixtures and fittings, the toilet pan, toilet seat, backrest, toilet paper dispenser, sink, shelf, soap dispenser, mirror, clothes hook, grabrails and door hardware,
- Ensure a hearing augmentation system is provided where an inbuilt amplification system is installed in the church, and
- Ensure Braille and tactile signage is provided at applicable exits, accessibility toilet and where a hearing augmentation system is installed.

6. CONCLUSION

This DA is for the proposed change of use and minor works for the building located at 75 Bridge Street, Muswellbrook. The change of use will allow for the operation of a church as a 'place of public worship' on the first floor. Minor works are required, primarily to ensure compliance with accessibility standards. These works include the installation of a lift, accessible toilets, and reconfiguration of the front foyer area.

Church services would be held on Sundays, with smaller congregations occurring throughout the week for related activities such as prayer, meetings, or similar gatherings. Church services typically involve approximately 40 attendees. Sunday services would typically be held between 2pm and 3:30pm.

As discussed above, the proposed development is generally consistent and compliant with the aims and objectives of all relevant planning instruments and controls, in that:

- It is permissible with consent within the E2 – Commercial Centre zone and is compliant with the relevant development standards under the Muswellbrook LEP;
- The change of use generally complies with the relevant development controls contained within the Muswellbrook DCP 2009;
- The proposed church would provide additional community uses and services for the local community, consistent with the objectives of the E2 – Commercial Centre zone; and
- Proposed minor works have been designed to improve accessibility of the building, whilst simultaneously maintaining the heritage value of the heritage listed building.

Given the merits of the proposal and the absence of any significant adverse environmental impacts, the DA is considered to be in the public interest and is recommended for Council's support subject to standard conditions of consent.

APPENDIX A:

SITE PLANS

Prepared by Maxwell & Page

Date: 20 December 2024
Project Ref: 232402
Address: 75 Bridge Street, Muswellbrook NSW
LGA: Muswellbrook Shire

GILES
PLANNING

REV	ISSUE NAME	ISSUE DATE
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DRAWING LIST

- DA01 Cover Page
- DA02 Site and Stormwater Plan
- DA03 Demolition Plan
- DA04 Ground Floor Plan
- DA05 First Floor Plan
- DA06 West (Bridge Street) Elevation
- DA07 South Elevation
- DA08 North Elevation
- DA09 East Elevation
- DA10 Section A

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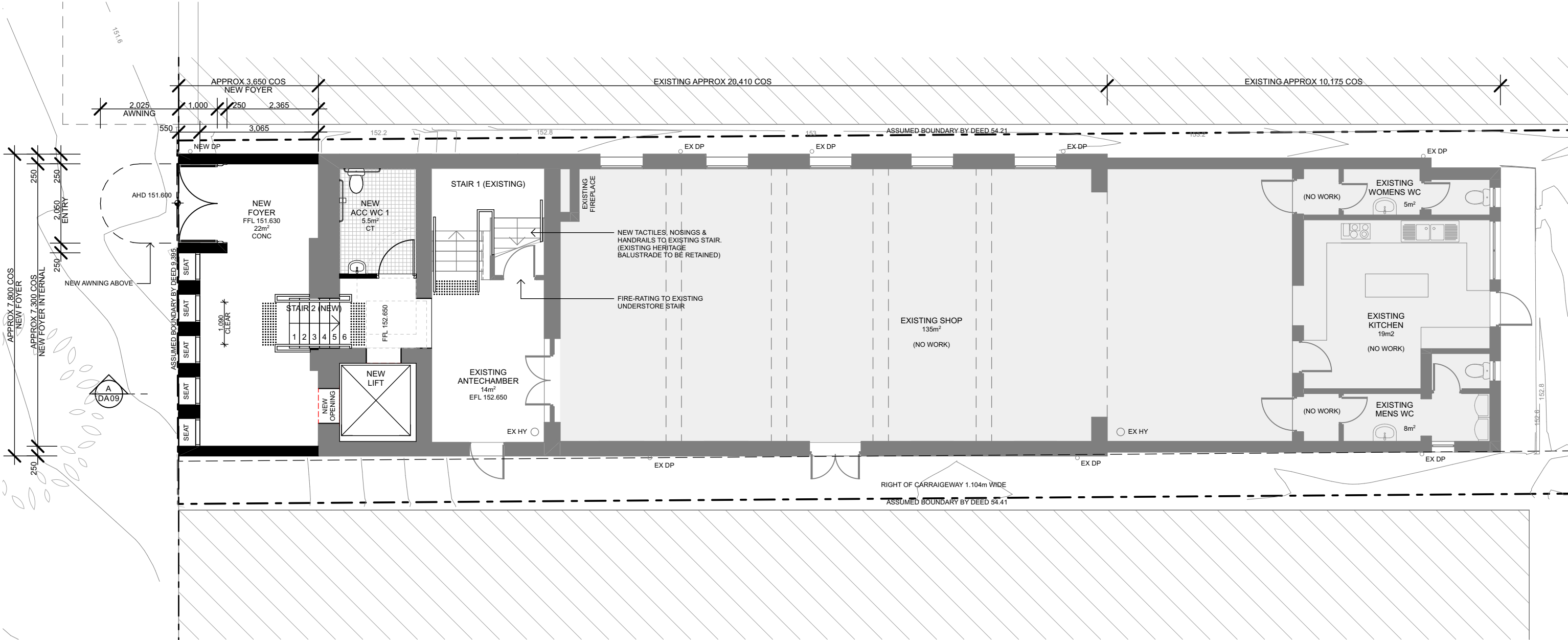
AREAS

GFA LOWER LEVEL: 223m²

GFA UPPER LEVEL: 126m²

TOTAL GFA: 349m²

NOTE ALL AREA CALCULATIONS ARE APPROXIMATE ONLY

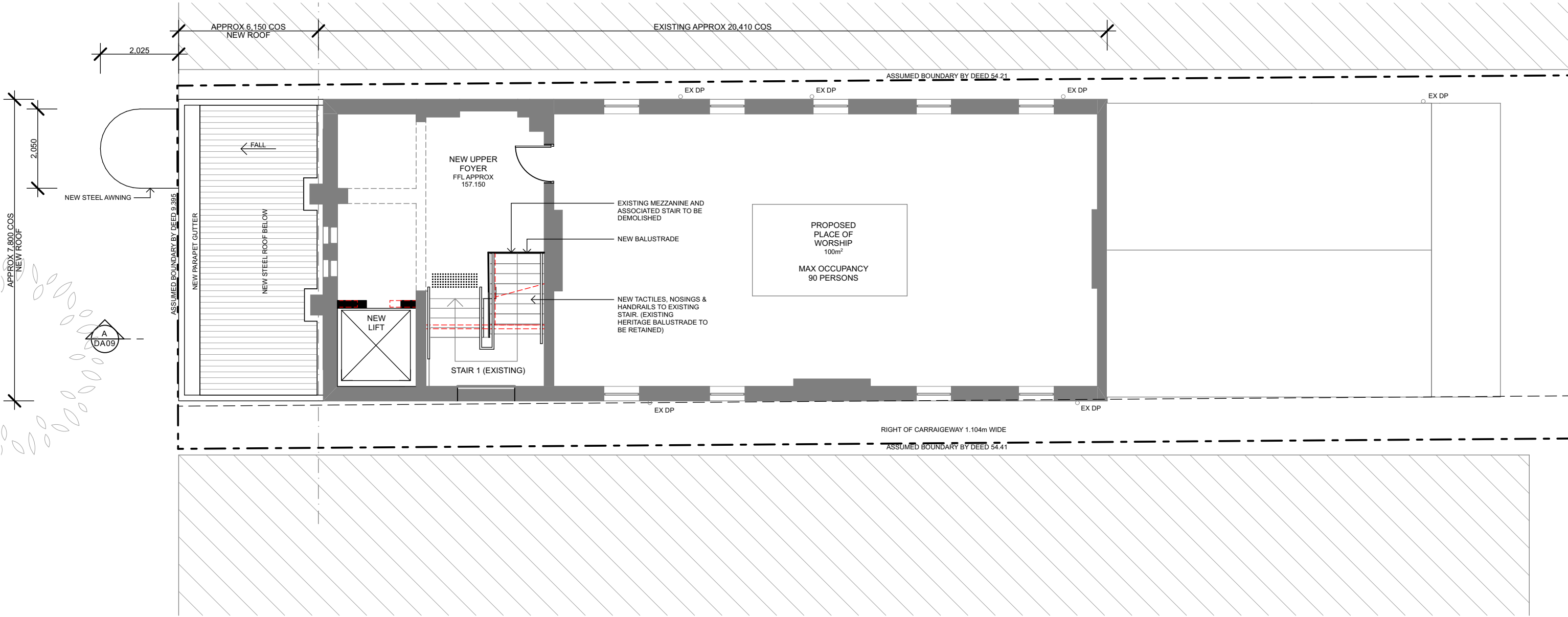


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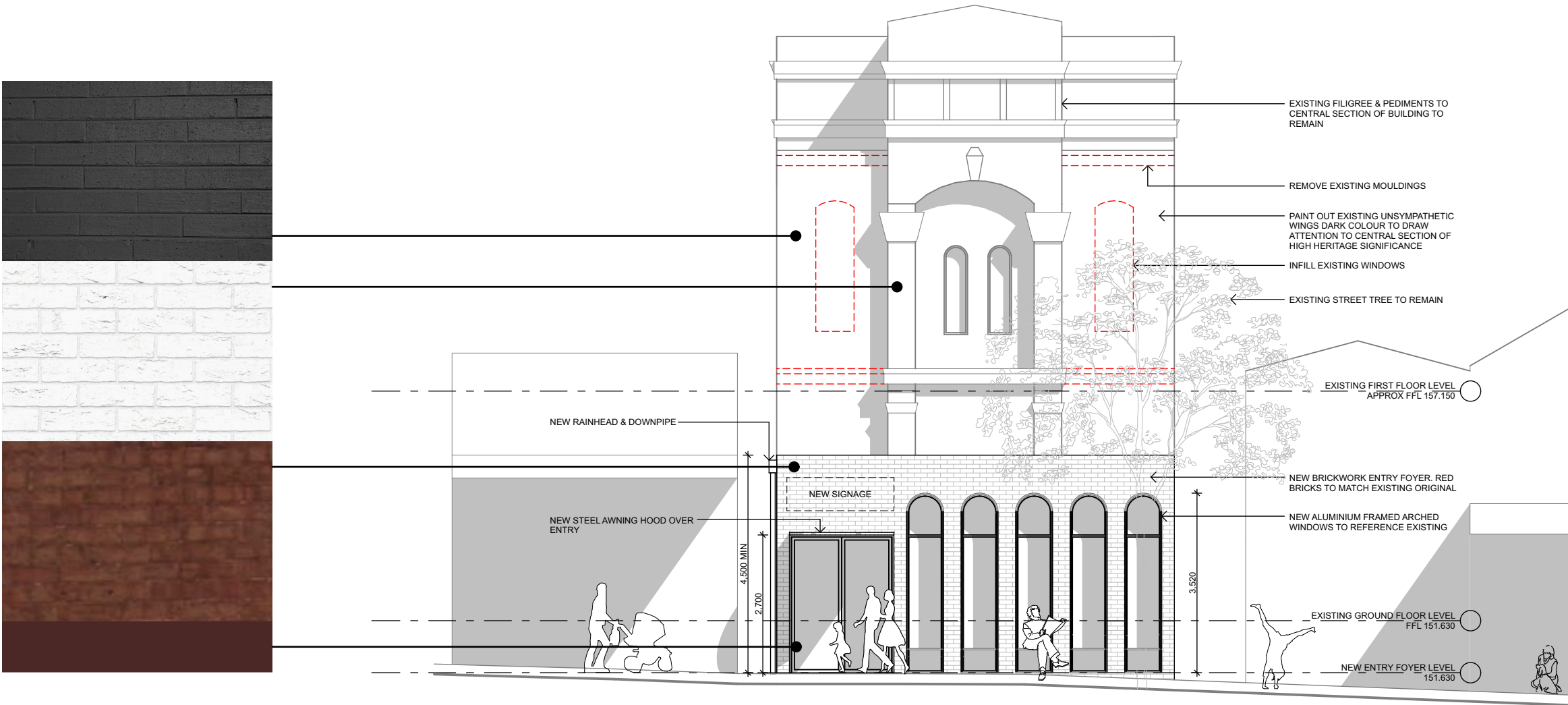


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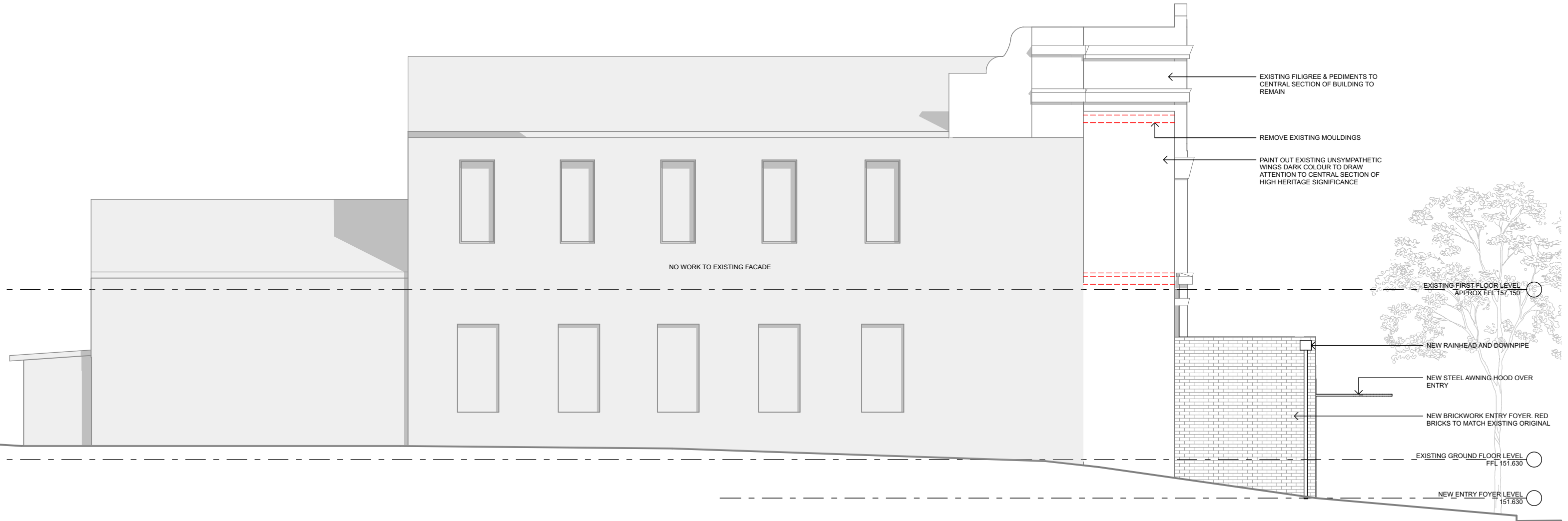
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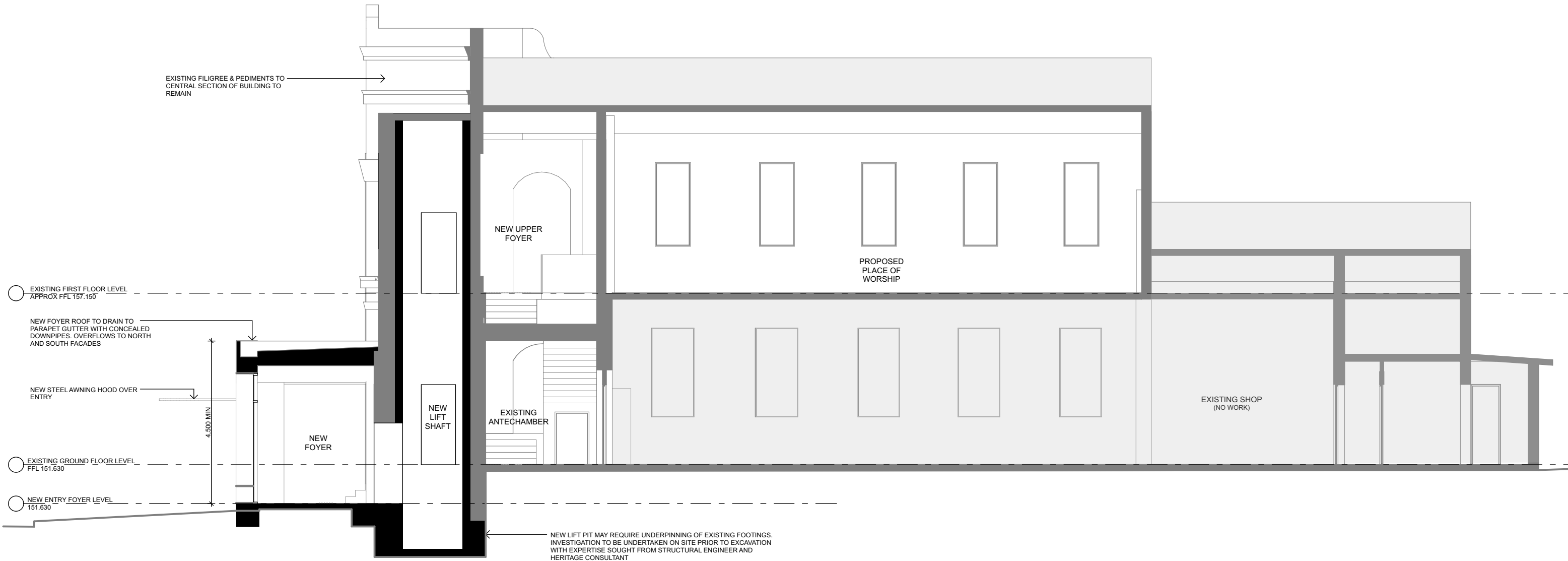
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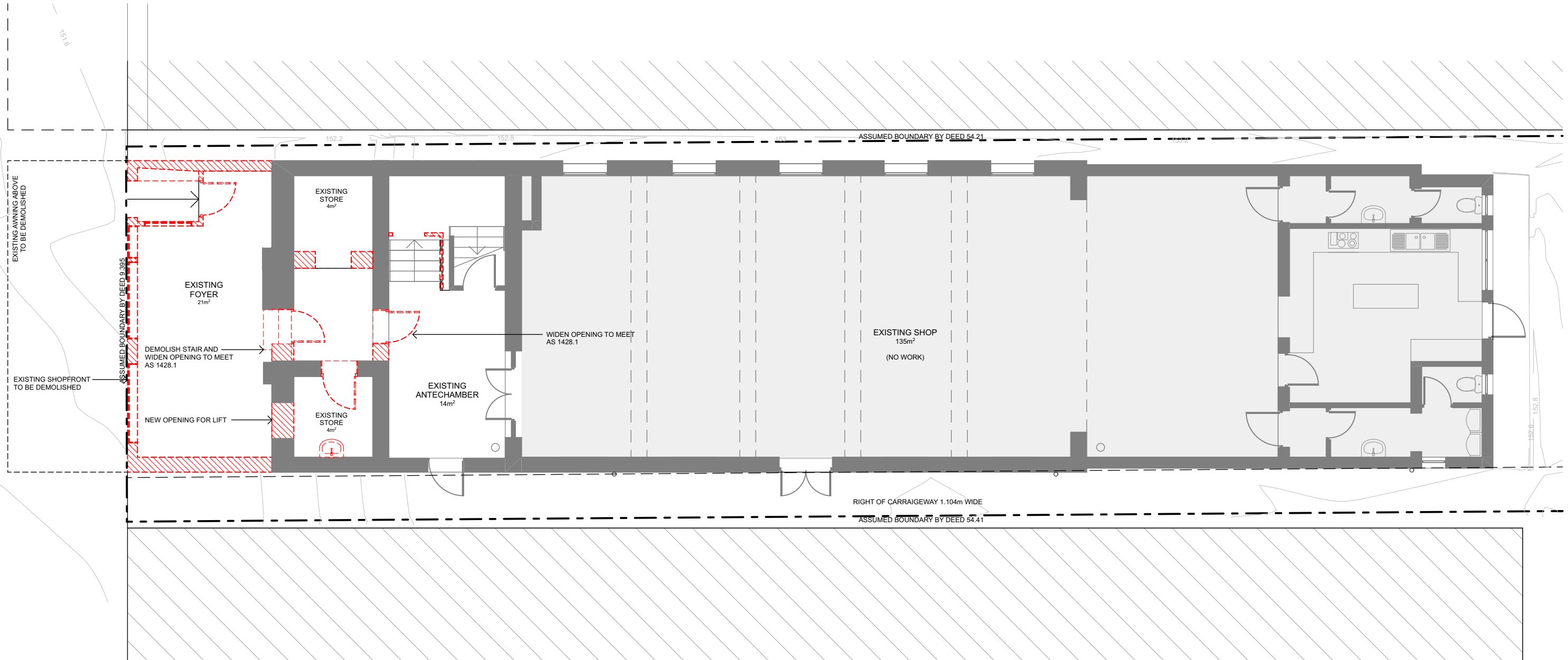
REV	ISSUE NAME	ISSUE DATE
01	ISSUED FOR DEVELOPMENT APPLICATION	21.11.2024

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AREAS

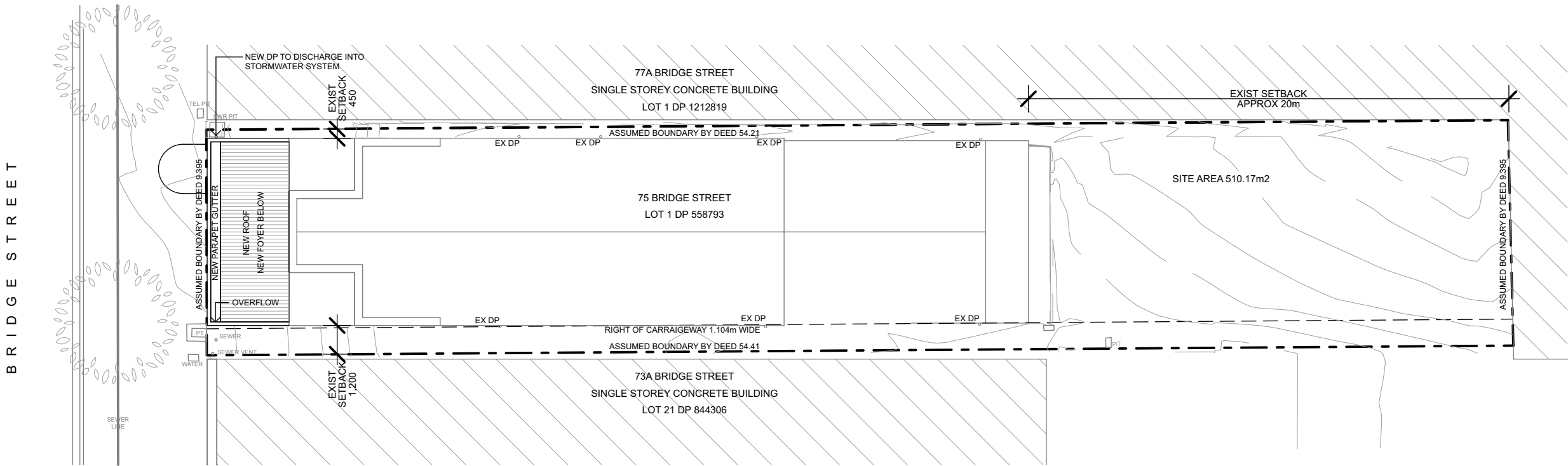
GFA LOWER LEVEL: 223m²

GFA UPPER LEVEL: 126m²

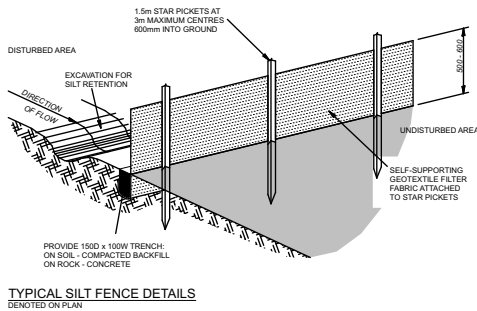
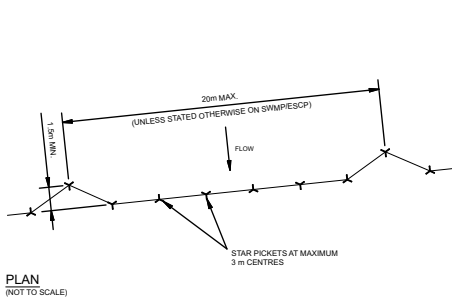
TOTAL GFA: 349m²

NOTE ALL AREA CALCULATIONS ARE APPROXIMATE ONLY

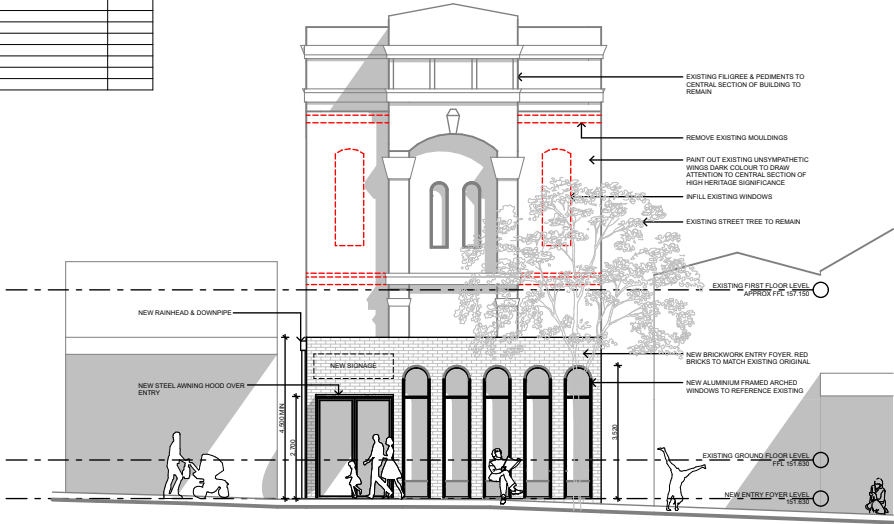
NEW GFA UNCHANGED FROM EXISTING



SEDIMENT CONTROL PLAN



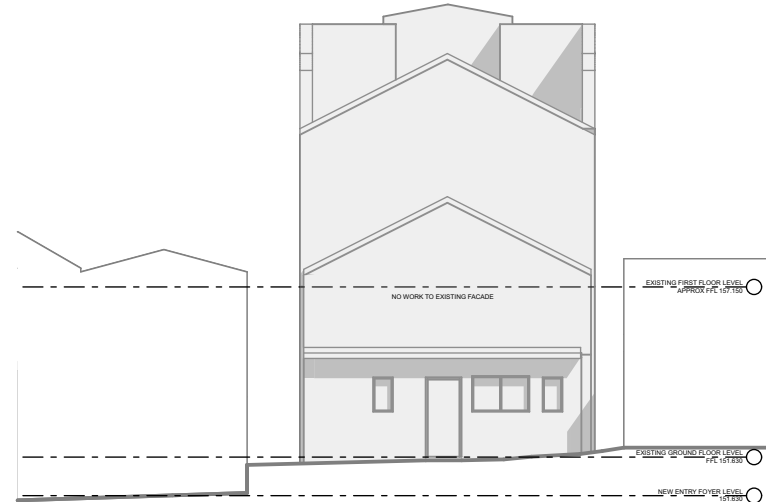
REV	ISSUE NAME	ISSUE DATE
01	ISSUED FOR DEVELOPMENT APPLICATION	21.11.2024



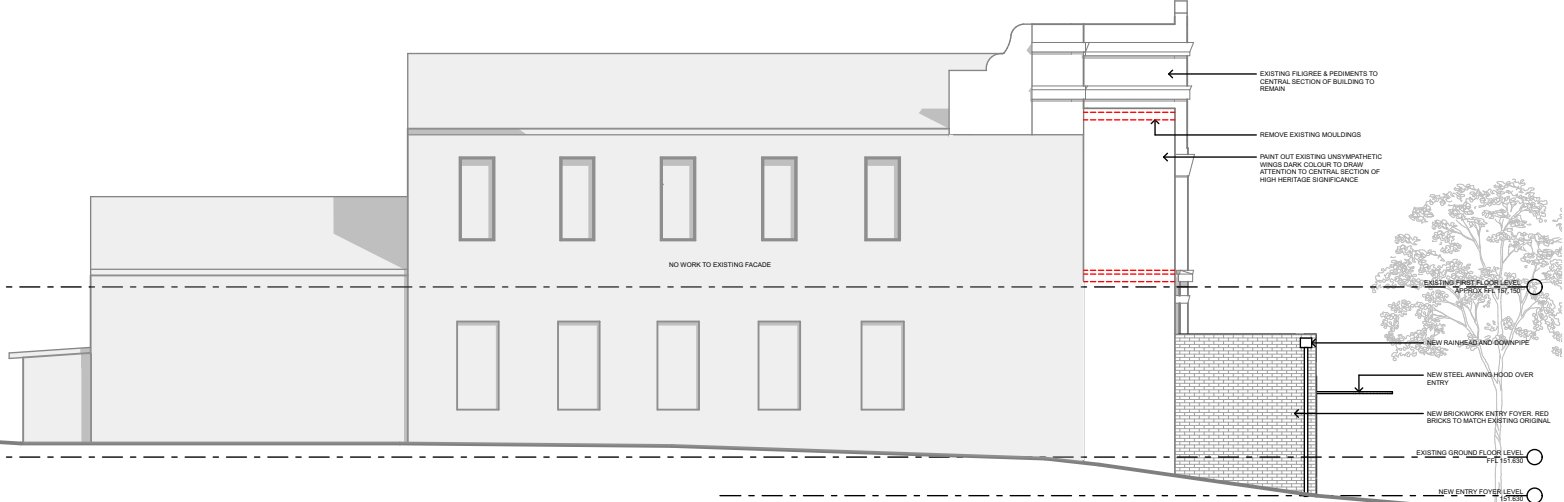
WEST ELEVATION



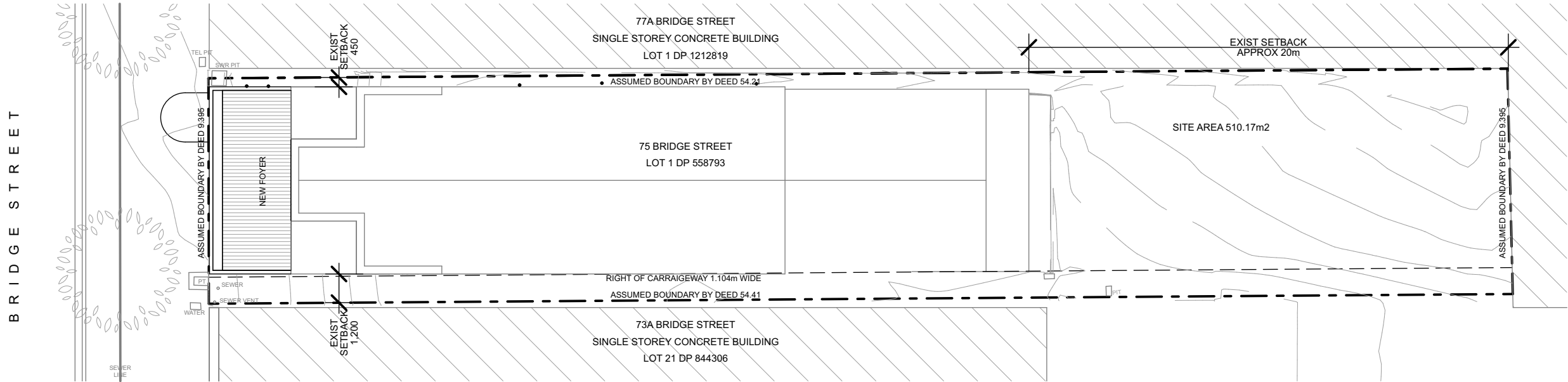
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



APPENDIX B:

SITE PHOTOGRAPHS

Date: 20 December 2024
Project Ref: 232402
Address: 75 Bridge Street, Muswellbrook NSW
LGA: Muswellbrook Shire

GILES
PLANNING

PHOTOGRAPHS OF SURROUNDING AREA

Photograph 1:
East side of Bridge Street
(Viewing Project Site/
Masonic Lodge)



Photograph 2:
East side of Bridge Street
(Viewing buildings south of
Project Site)



Photograph 3:
East side of Bridge Street
(Viewing streetscape south
of Project Site)



Photograph 4:
East side of Bridge Street
(Viewing building north of
Project Site)



Photograph 5:
East side of Bridge Street
(Viewing streetscape north of
Project Site)



Photograph 6:
East side of Bridge Street
(Viewing streetscape north of
Project Site)



Photograph 7:

West side of Bridge Street (Viewing streetscape opposite Project Site)



Photograph 8:

West side of Bridge Street (Viewing streetscape opposite Project Site)



Photograph 9:

West side of Bridge Street (Viewing streetscape opposite Project Site)



Photograph 10:

West side of Bridge Street (Viewing streetscape opposite Project Site)



APPENDIX C:

PRELIMINARY SIGNIFICANCE ASSESSMENT

Prepared by: Contemporary Heritage

Date: 20 December 2024
Project Ref: 232402
Address: 75 Bridge Street, Muswellbrook NSW
LGA: Muswellbrook Shire

GILES
PLANNING



75 Bridge Street, Muswellbrook

STATEMENT OF HERITAGE IMPACT

CHANGE OF USE

CONTEMPORARY HERITAGE

WWW.CONTEMPORARYHERITAGE.COM.AU | ABN: 37 629 824 380

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REVISION HISTORY

Issue:	01	02		
Revision:	DRAFT	FINAL		
Date:	20 / 11 / 24	20 / 12 / 24		

1. INTRODUCTION

- a. Jason Penhall, Heritage Consultant for Contemporary Heritage has been engaged to prepare a Statement of Heritage Impact for 75 Bridge Street Muswellbrook, Lot/Section/Plan no: 1/-/DP558793.
- b. This report adopts the methodology outlined in the Guidelines for preparing a Statement of Heritage Impact (prepared by the Department of Planning and Environment 2023.) It has been undertaken in accordance with the principles of the Burra Charter, 2013.
- c. The site is located at 75 Bridge Street, Muswellbrook and is located within the Muswellbrook Business Heritage Conservation Area and is identified below. The property is a Heritage item and is in the vicinity of a number of Heritage Items listed in the Muswellbrook Local Environmental Plan 2009.
- d. This report was prepared by Jason Penhall.

BA(Hons.) Arch., PG-Cert. Arch., M.Arch., PG-Dip. Prof. Prac.
Architect Reg. 11285



Figure 1 Site Location with Heritage Overlay
source: NSW Planning Portal - Subject site shown outlined in yellow

2. HISTORICAL CONTEXT

2.1 Muswellbrook

Muswellbrook was originally named Muscle Brook by the early settlers due to the finding of mussels in the creek feeding into the Hunter River.

In an article from 1827, referring to various appointments regarding the NSW Government, reference is made to the appointment of Major Mitchell who surveyed much of the area:

*We are glad to see the appointment of six new Surveyors; at the head of which, is Major Mitchell. The settlers will now stand a chance of getting their farms measured.*¹

A vivid description of New South Wales in an article from 1828 also includes reference to Muscle Creek, a tributary of the Hunter River. At this time this area had only been recently discovered:

Rambles in New South Wales

*The tributary streams of the Goulburn, the Wemyss, the Page, Kingdon Ponds, Dart Brook, Muscle Creek, " rivers unknown to song, " flow through a country nothing inferior to the other main river; and all of them, though not yet two years discovered, can boast of some of the most respectable and wealthy settlers of New South Wales. There is, however, still a good deal of land which remains here to be given away.*²

Major Mitchell started his expedition north of Sydney beginning in 1831 and used Aboriginal guides local to the areas he surveyed paying them generally with blankets, pipes, tomahawks, tobacco and food.

In the image below can be seen St Alban's Anglican Church. The approximate location of Bridge Street is pointed out with the green arrow:

¹ The Australian – 19 Sep 1827 - <https://trove.nla.gov.au/newspaper/article/37071512/4249337>

² Colonial Advocate, and Tasmanian Monthly Review and Register Mon 1 Sep 1828
<https://trove.nla.gov.au/newspaper/article/232998197/25180357>

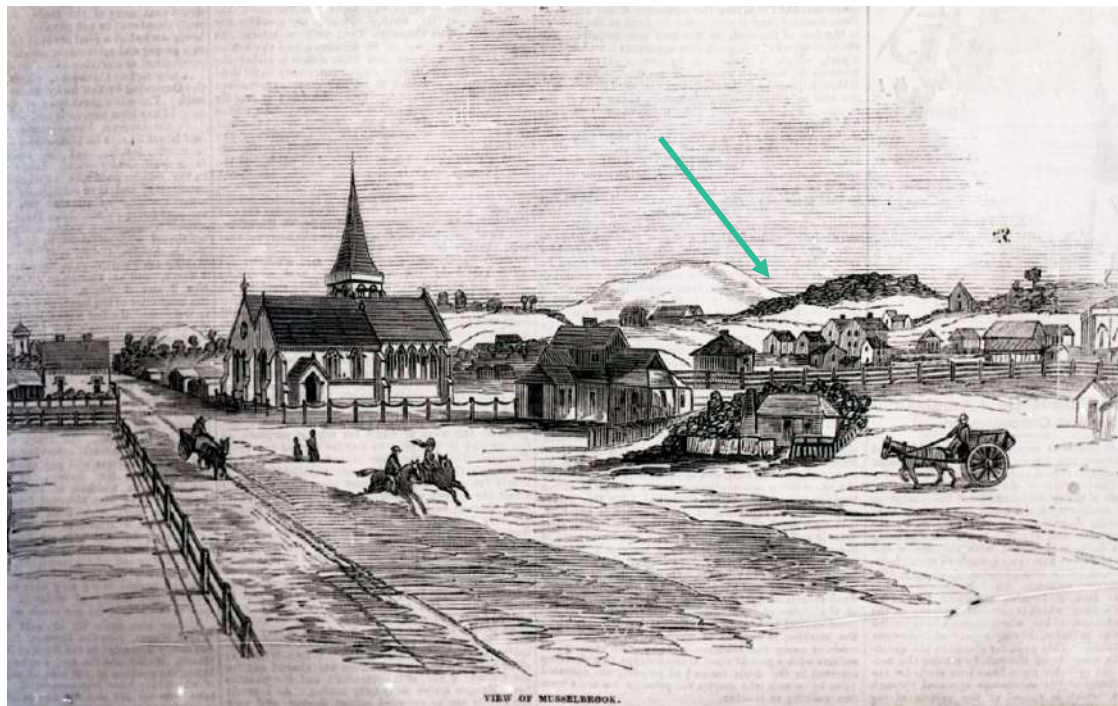


Figure 2 View of Muswellbrook, NSW from Town and Country Journal, 11 November 1871
source: University of Newcastle Living Histories
livinghistories.newcastle.edu.au/nodes/view/104609

15. DURHAM—*Hunter's River*—490, For Early allotments were advertised in
hundred and ninety Acres, being Allotment 1932.
No. 1 on the Muscle Brook Reserve; bound
West by Hunter's River; South by a Villa
Reserve; and East by Allotment No. 2. A
plied for by Francis Forbes. Price five shillin
per acre.

Figure 3 NSW Gov Gaz 22 Aug 1832
source: trove.nla.gov.au/newspaper/article/230388922/12475425

Some Town allotments were advertised in 1834 and the following 4 were bought by H.C. Sempill:

1. *Durham, Town of Muscle Brook, ½, Half an acre, allotment No. 9 of section No. 1; applied for by H.C. Sempill. Price £1. per acre.*
2. *Durham, Town of Muscle Brook, ½, Half an acre, allotment No. 10 of section No. 1; applied for by H.C. Sempill. Price £1. per acre.*
3. *Durham, Town of Muscle Brook, ½, Half an acre, allotment No. 11 of section No. 1; applied for by H.C. Sempill. Price £1, per acre.*
4. *Durham, Town of Muscle Brook, ½, Half an acre, allotment No. 12 of section No. 1; applied for by H.C. Sempill. Price £1, per acre.³*

The railway work between Singleton and Muswellbrook (Muscle Brook) meant the erection of many tents for the workers:

right in to Muscle Brook the road is lined with tents and huts of every conceivable description

The site of the school, in a direct line from the Great Northern Road, is four miles.

The line of railway passes close by it. The name by which the place is known is Muscle Creek, or Grasstree⁴

Between Reverend White, with funds advanced by Mr Blunt, and a contractor for the railway, a school-room was erected and opened on 1 May 1864, for the railway workers' children to be educated.



Figure 4 Muswellbrook 1890 - Mitchell Library, State Library of New South Wales
source: [trove.nla.gov.au work/235938908](https://trove.nla.gov.au/work/235938908)

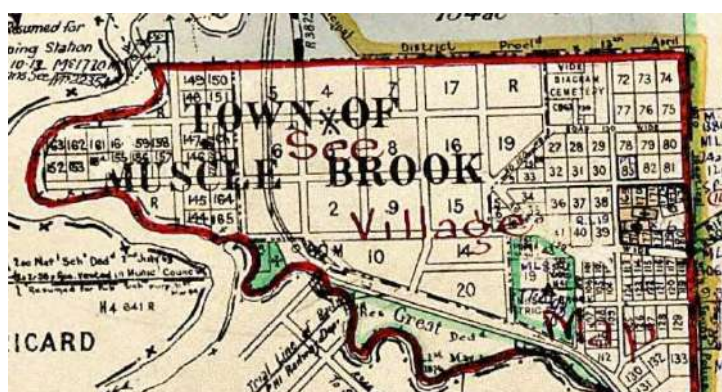
³ The Sydney Herald 14 Jul 1834 - <https://trove.nla.gov.au/newspaper/article/12849888>

⁴ The Maitland Mercury and Hunter River General Advertiser 7 Sep 1865
<https://trove.nla.gov.au/newspaper/article/18711906>



The subject property's approximate position is pointed out with the green arrow.

Figure 5 Town - Musclebrook, Land District Muswellbrook, Parish Rowan 1901
source: Historical Land Records Viewer



The excerpt to the left shows the town named Muscle Brook.

Figure 6 Muscle Brook County Durham Parish Rowan 1906
source: Historical Land Records Viewer

2.2 75 Bridge Street - Masonic Lodge



Figure 7 75 Bridge Street - 2022
source: Contemporary Heritage

The Freemasons have been established in Muswellbrook since 1882 with Master Bro. D. Robertson at its head:

- referred to the establishment of the lodge in Muswellbrook in the year 1882⁵ -



Figure 8 Eaton's Hotel, Bridge Street, Muswellbrook
source: trove.nla.gov.au/work/235136102

The Prince of Wales Lodge meetings were held at Eaton's Hotel until the new premises were built in Bridge Street:

assembled at the temporary lodge room in Eaton's Hotel⁶

Masonic Installation at Muswellbrook

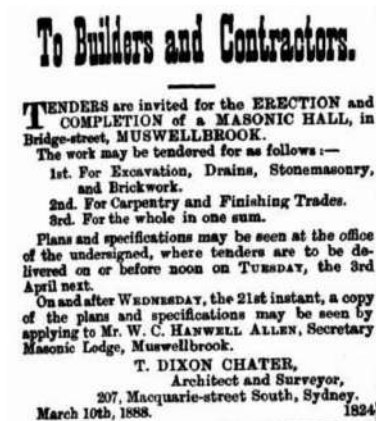
The annual installation of officers in connection with the Muswellbrook Prince of Wales Lodge, 1980, E.C., took place on Monday, the 6th instant. The Installing Master was Bro. Thomas Evans,

⁵ The Maitland Mercury and Hunter River General Advertiser 18 May 1889 - <https://trove.nla.gov.au/newspaper/article/18971409>

⁶ Singleton Argus 25 Jul 1888 - <https://trove.nla.gov.au/newspaper/article/82618677>

P.M., of Maitland, who on all occasions has ever proved himself ready and willing to assist in the advancement of Freemasonry.⁷

In 1888 the subject property was built by the Prince of Wales Masonic Lodge from "Clark" as stated in the Statement of Significance.



The first advert for Builders and Contractors was placed on 10 March 1888:

The Sydney Morning Herald
<https://trove.nla.gov.au/newspaper/article/13673855>

The same advert was placed daily.

The image to the left is clearer placed on 17 March 1888:

Figure 9 Masonic Lodge

source: The Maitland Mercury and Hunter River General Advertiser 17 Mar 1888
<https://trove.nla.gov.au/newspaper/article/18952912>



The Foundation stone was laid on Friday 20 July 1888 and the opening ceremony was in about August 1889:

MASONIC HALL. The handsome building which the local Masons are erecting in Bridge-street is now almost completed; and the air is big with report that Lord Carrington will visit Muswellbrook for the purpose of performing the opening ceremony next month.⁸

Figure 10 Masonic Lodge

source: The Maitland Mercury and Hunter River General Advertiser 19 July 1888
<https://trove.nla.gov.au/newspaper/article/18967095>

⁷ The Maitland Mercury and Hunter River General Advertiser 16 Jun 1887 - <https://trove.nla.gov.au/newspaper/article/18888010/157818>

⁸ Australian Town and Country Journal 27 Jul 1889 - <https://trove.nla.gov.au/newspaper/article/71121649>

Statement of Heritage Impact
75 Bridge Street, Muswellbrook

Lot	Owner	Lot	Owner
1	William Burton	10	William Burton
2	William Burton	11	William Burton
3	Harriett Cole	12	John Madely
4	R. C. Dangar	13	John Madely
5	L. M. Dougall	14	John Madely
6	L. M. Dougall	15	John Madely
7	A. B. Spark	16	John Madely
8	A. B. Spark	17	John Madely
9	W. C. Wentworth	18	John Madely
10	William Burton	19	John Madely

In the extract from the larger Parish Map at **Figure 5** above, the subject property is around the positions of Lot 6 and 7 and allotted to L McDougall or AB Spark although according to the Muswellbrook Shire Council the Lot was purchased by the Masonic Lodge from "Clark" as can be seen from the information above.

Figure 11 Muscle Brook County Durham Parish Rowan 1901
source: Historical Land Records Viewer

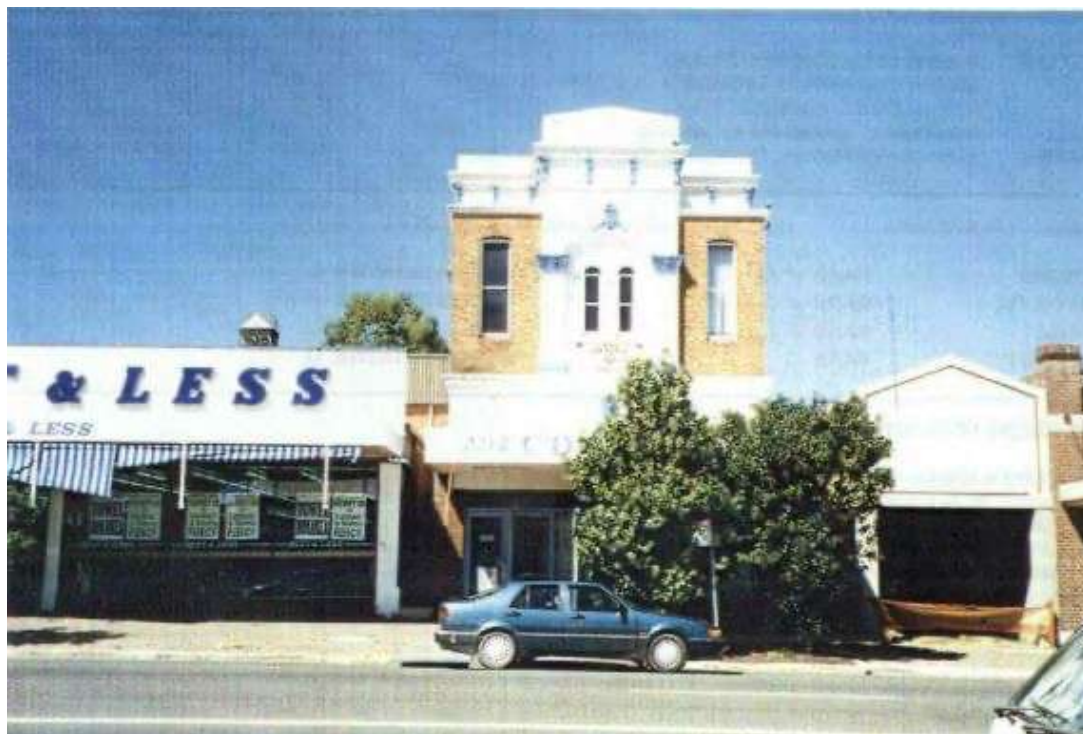


Figure 12 Masonic Lodge - 75 Bridge Street, Muswellbrook
source: Muswellbrook Shire Council Heritage Study Inventory 1996
<https://www.muswellbrook.nsw.gov.au/heritage-items-inventory/>

NSW State Heritage Inventory:

Statement of Significance

The building is strongly identified with the establishment of the Masons in Muswellbrook in the latter 19th century and as such has local historic significance. Its early history can be linked with the towns leading businessmen. It therefore has local social significance for the establishment of the Masons in Muswellbrook. Aesthetically the building is of distinctive design conceived and built by local Architect and a local builder. It has local aesthetic significance. Scientifically the building is of local significance for it reveals the period of establishment of Masons in Muswellbrook in the late 19th century and has the capacity to reveal information which could contribute to an understanding of the scale and manner of its activities.

History

The Prince of Wales Masonic Lodge built this lodge in 1888 on land bought from Clark. The building was planned by one of the Lodge members, T. Dixson Chater, who was described as the honorary architect. G. Parrs was the bricklayer and finance was provided by George Blunt. The importance of Masonry in the social life of the period gives this building particular local significance because of its links with many of the town's leading male citizens.

3. Planning and Heritage Context

3.1 Muswellbrook Local Environmental Plan 2009 – version for 1ST March 2024

The subject site is listed in the LEP 2009 Schedule 5 as being a Heritage Item and is in the Muswellbrook Business Heritage Conservation Area.

The following is an extract from the LEP that is relevant to this proposal:

5.10 Heritage conservation

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- a) on land on which a heritage item is located, or*
- b) on land that is within a heritage conservation area, or*
- c) on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.*

In compliance with Clause 5 (a), (b) and (c) a Statement of Heritage Impact has been prepared to assess the impact that the proposed development will have on the significance of the Heritage Conservation Area, the Heritage Item itself and Heritage Items in the vicinity.

4. Schedule 5 Heritage Items

Suburb	Item name	Address	Property description	Significance	Item
Muswellbrook	Campbell's Corner	60 Bridge Street	Lot 101, DP 606303	Local	I67
Muswellbrook	Masonic Lodge	75 Bridge Street	Lot 1, DP 558793	Local	I68
Muswellbrook	Uniting Church	110 Bridge Street	Lot 401, DP 816923	Local	I69

4.1 Campbell's Corner - 60 Bridge Street – I67



Malcolm Campbell's store was erected in 1862 and was part of a chain being established in Denman, Aberdeen, Rouchel, Merriwa, Murrurundi and Moonan Flat.

Figure 13 Messrs Campbell and Co's Store, at Corner of Bridge and Brook Streets, Postcard sent from Aberdeen to F.R. (Francis Richard) Moore, Esq. Bishop's Bridge, Via West Maitland [c. 1908]

source: livinghistories.newcastle.edu.au/nodes/view/35544



Figure 14 Campbell's Corner, 110 Bridge Street, Muswellbrook

source: Muswellbrook Shire Council Heritage Study Inventory 2000
<https://www.muswellbrook.nsw.gov.au/heritage-items-inventory/>

HISTORICAL NOTES

The building as it is today is a conglomeration of a number of modifications since Malcolm Campbell's original building in 1870. By the time Campbell died in 1905, the Bridge Street building had expanded a bay of building either side of the original and had an awning running along the length of the new building out over the footpath with column support. This awning was decorated with a pedimental parapet. At this time, the building had a new hipped roof over the three bays with vaulted ridge structure. The major additions to the west of the Bridge street building in 1910 extended to and turned the corner into Brook Street, emphatically claiming the corner with a grand tower structure. The new addition being of a different style of Architecture also dominated the original building in scale and size. The Campbell's firm continued to operate until the early 1970's until it was purchased by Western Stores and sold off. The building under went major retail reconfiguration in the early 1990's, creating a "walk-through" mall arcade from the original entrance to the rear of the property.

Figure 15 Campbell's Corner, 110 Bridge Street, Muswellbrook

source: Muswellbrook Shire Council Heritage Study Inventory 2000
<https://www.muswellbrook.nsw.gov.au/heritage-items-inventory/>

Statement of Heritage Impact
75 Bridge Street, Muswellbrook

STATEMENT OF SIGNIFICANCE

Campbell's Corner is representative of the development of the commercial precinct of Muswellbrook over 130 years. The building has expanded significantly since its establishment. The building still comprises major components of all its development periods. It is an outstanding example of a continuously evolving commercial development in the town; the building is of local Historic Significance. With the only corner tower structure along the main street in Muswellbrook, Campbell's corner represents a rare aesthetic contribution to the town's commercial centre in terms of streetscape and is a nodal landmark. The level of aesthetic significance is rare to the town as the building is a unique example of a combination of Victorian & Federation styles of Architecture. The building's proportions (especially the later corner addition) are large, giving a "civic" presence to the street. The massing of the forms is composed to "build – up" to the corner emphasising the monumental gesture of the tower. The period detailing of the building along with special material treatment such as the metal shingled tower dome place importance on the overall aesthetical value. Internally there is very little of the original building's character left to value of any aesthetic significance. One area remaining intact, but in poor condition, is the entrance corridor and stair to the upper level off Brock Street. The strong presence of the building provides the local community with a sense of identity. The "Campbell" name has a strong association with a history of service to the town's people and toward the town's development. As an ongoing representation of a commercial centre to the people of Muswellbrook the building is of Local Social Significance. Original period detailing of the external components of the building and tower along with the structural component of the tower itself represent local Technical significance.

Figure 16 Campbell's Corner, 110 Bridge Street, Muswellbrook

source: Muswellbrook Shire Council Heritage Study Inventory 2000

<https://www.muswellbrook.nsw.gov.au/heritage-items-inventory/>



TO COMMEMORATE
THE ERECTION OF
THESE PREMISES
THIS TABLET
HAS BEEN AFFIXED
BY ISABELLA
STRACHAN CAMPBELL
WIDOW OF
MALCOLM CAMPBELL
FOUNDER
OF THE COMPANY
- 1928 -

Figure 17 Campbell and Co's Store Plaque

source: [monumentaustalia.org.au themes/technology/industry/display/107638](http://monumentaustalia.org.au/themes/technology/industry/display/107638)

4.2 Upper Hunter Parish Trinity Uniting Church, 110 Bridge Street – I69

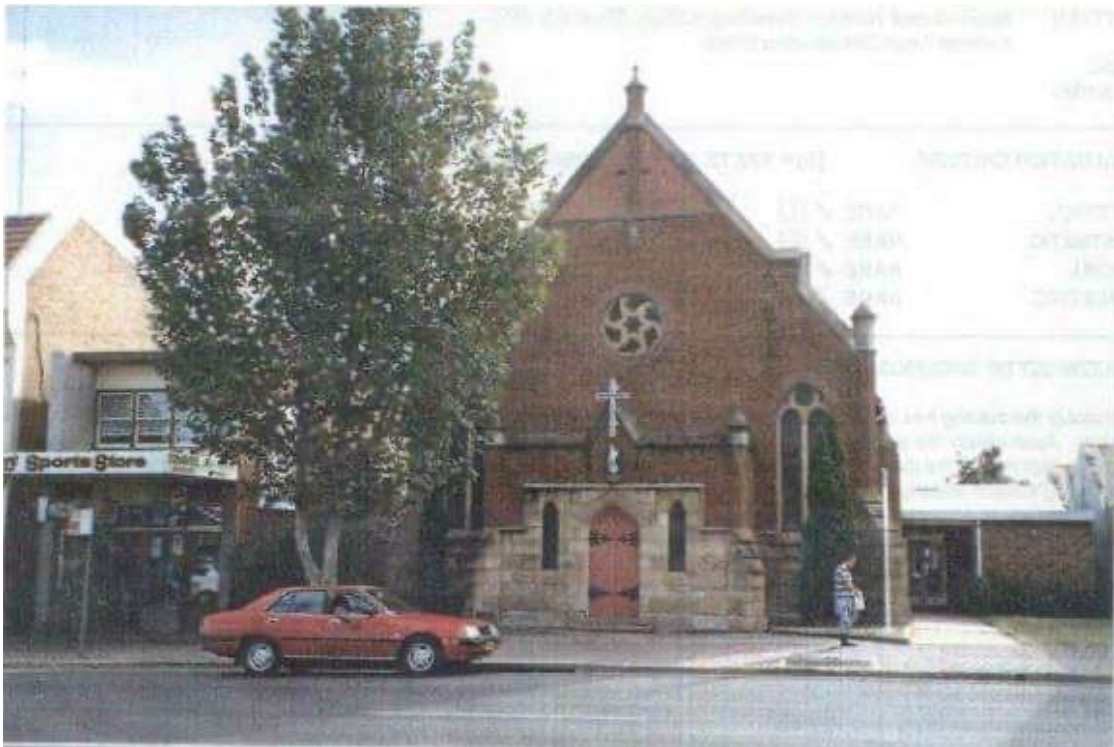


Figure 18 Campbell and Co's Store Plaque

source: Muswellbrook Heritage Study Inventory 1996
Heritage-Items-Inventory-Methodist-Church-Bridge-Street-
Muswellbrook_Redacted.pdf

Diagonally opposite the subject property and originally known as the Methodist Church, the old building was replaced in 1913, being built on the same site as the old one, which was built in 1862.

The foundation stone was laid on 7 September 1912:

NEW METHODIST CHURCH.

On Saturday afternoon about a hundred persons assembled to witness the laying of the laying of the foundation stone of the new Methodist Church to be erected on the site of the old one in Bridge-street.⁹

The church was completed and opened on 2 August 1913.¹⁰

a commodious church of tasteful design now adorns our chief thoroughfare in a central position, and an ample school hall is attached to the building — an annexe thereof at the western end.¹¹

⁹ The Maitland Daily Mercury 10 Sep 1912 - trove.nla.gov.au/newspaper/article/123118346

¹⁰ The Muswellbrook Chronicle 2 Aug 1913 - trove.nla.gov.au/newspaper/article/107861719

¹¹ The Maitland Weekly Mercury 9 Aug 1913 - trove.nla.gov.au/newspaper/article/128067662



Figure 19 Methodist Church Plaque

source: [monumentaustalia.org.au themes/people/religion/display/102908](http://monumentaustalia.org.au/themes/people/religion/display/102908)

NSW State Heritage Inventory:

Statement of Significance

Historically the building has local significance for its association with the growth of the Methodist Church in Muswellbrook in the early 20th century. Aesthetically the quirky use of stone in the porch is attributable to the availability of re-usable stone from the previous building. It is this feature which makes the design unusual and gives it local significance. Socially the building has local significance to generations of Methodist and Uniting Church worshippers in Muswellbrook. Scientifically, the building has local significance for its potential to reveal information which could contribute to an understanding of the expansion and style of worship of the Methodist Church in Muswellbrook.

History

The first church on this site was opened in 1862, a stone building described as both neat and substantial. The present church was constructed on the site of the original building in 1913 and it is likely that some of the materials were recycled. The Muswellbrook Historical Society refers to the church as constructed in 1913 of red brick on a sandstone base, the neo-Gothic design with sub Art Nouveau details creates a pleasing building. The handsome 20th century interior is intact and features diagonally boarded ceiling. Much of the stone work was carried out by a local stone mason (Armitage).

5. Development Control Plan (DCP) - Section 15 - Heritage Conservation

The site is listed as a heritage item within the conservation area and there are Heritage Items in the vicinity. The following excerpts are relevant to this application:

5.1 Heritage

15.1.1 Introduction

Muswellbrook Shire has been settled for many thousands of years and it has many places that are significant because of natural, Aboriginal and European features and associations. In particular it has many buildings dating from as far back as the early 19th century which provide first hand information about how the Shire developed, who played parts in this development, how they lived their lives and how they built their living environment. Many of these built, as well as other, items are considered worth passing on to future generations.

15.1.2 Objectives

The aim of these controls is to ensure that qualities of these heritage items that give them their significance are retained. To achieve this aim Council wishes to encourage the following objectives:

- Compliance with the provisions of the Heritage Act 1977, the National Parks and Wildlife Act 1974, and the Environment Protection and Biodiversity Conservation Act 1999 ;
- Conservation of items and groupings of items which have played a part in creating the area's identity and which provide insights into early periods of the region's development;
- Integration of heritage conservation practices into its statutory planning;
- Public familiarity with and understanding of heritage conservation practices;
- Public involvement in the conservation of the area's environmental heritage;
- A fair and objective approach to conservation of privately and publicly owned heritage items for both the public good and private benefit;
- Carrying out all new development affecting items of the area's environmental heritage in a manner that is consistent with conservation best practice as set out in the Burra Charter and for natural heritage in the Australian Natural Heritage Charter.
- Ensuring that new works and maintenance do not cause harm to or cause any loss of the significance of any heritage item.

15.1.3 How should the controls be used?

These controls have been prepared to help owners of heritage items (particularly built items), people who are seeking to develop or alter places which have heritage items or are within heritage conservation areas, and applicants for development of sites or buildings adjacent to listed heritage items, to understand what they and what Council are required to do.

Anyone who needs approval to alter or otherwise change such items should become familiar with these controls and should refer to the heritage provisions in Muswellbrook Shire's Local Environmental Plan (LEP). These documents will provide an understanding of Muswellbrook Council's approach to conserving its local government area's environmental heritage.

These controls relate to buildings, works, relics, trees and all other physical features that are in places which have been identified as containing heritage items or are within heritage conservation areas. They address impacts that might result from buildings, works, land uses or subdivisions which are proposed in development applications relating to these places or to places that are in their vicinity

15.1.13 Buildings

When proposing to make changes in a place that contains built heritage items or in a heritage conservation area:

- Minor changes are likely to be acceptable if they are consistent in form, scale, finishes and details with those of the original
- Substantial extensions may be acceptable where they do not affect the integrity or character of the original building. Extensions that are separated from the original building and that respect the form, shape, scale, materials, finishes and detail of the original, which are designed in a simple unobtrusive style can meet these criteria. The architectural style and details of new work should complement, not compete with, the original building.
- In regard to changes in building elements:
 - (a) Changes to facades that are visible from public places are generally not encouraged.
 - (b) Changes to materials and the roof form should be minimised. Large, complex roofs may allow more options because changes may be less noticeable.
 - (c) Changes to details should be true to the original details. Simple cottages, for example, should retain their simplicity. Decorative detail which has been removed may be put back, but decoration of kinds that were never present should never be added.
 - (d) High walls and fences, and garages in front of buildings can obstruct views of older buildings and create an inappropriate built character.
 - (e) Similarly, unsympathetic garden treatment (eg excessive use of concrete or paving, dense informal plantings or inappropriate plantings) can detract from the historic character of a place.
- Total or partial demolition or removal of a listed heritage item will only be considered under exceptional circumstances. Council must notify the Heritage Council of all proposals to demolish heritage items. If an item is of State significance demolition and any other major Muswellbrook Shire Development Control Plan Section 15 Heritage Conservation Version date – April 2009 15-7 changes require the concurrence of the Heritage Council

15.1.14 Heritage Conservation Areas

Heritage conservation areas are identified because these areas, overall, are significant for a community. Generally, they contain some buildings, works, relics or trees which have been identified as heritage items but it is not necessary for heritage conservation areas to contain any items that are heritage items in their own right.

The purpose of heritage conservation areas is to preserve the physical relationship of features in them that date from similar periods or are associated with certain historical themes and reflect lifestyles related to the periods or themes. In towns, heritage conservation

areas are generally characterised by consistency in design features, materials, scale and proportions of individual buildings, whether the buildings are old or new.

New works in a heritage conservation area will be acceptable only if they serve to reinforce the physical character of the area. Works such as buildings that are visually intrusive or otherwise non-contributory to the character of the area will not be acceptable.

15.1.15 Development of sites near heritage items and heritage conservation areas

Because heritage items and heritage conservation areas need to be seen in context in order for their significance to be appreciated it is particularly important for owners of land in their vicinity to understand that proposed changes might affect how a heritage item or heritage conservation area can be seen. For this reason Council has to assess impacts on the heritage significance of heritage items and heritage conservation areas of DAs that relate to adjacent sites.

PART 2 – HERITAGE ITEMS AND CONSERVATION AREAS DESIGN CONTROLS

15.2.1 Changes to buildings

Muswellbrook Shire has many buildings of heritage value, dating as far back as the early 19th century. These exhibit a range of architectural features which is representative of building styles from many periods. These features are worth keeping because they help to define the special character of both the Shire and its heritage conservation areas.

Most changes to built heritage items will involve alterations and additions. Sometimes changes will involve what is referred to as 'adaptive reuse' or a change to the use of a building in its original location. Rarely the changes will involve a demolition and/or relocation of a building. Whatever the proposal:

- *The first priority is to conserve the significance of built features that are part of the environmental heritage of Muswellbrook Shire and*
- *The second priority is to ensure that a building that is a heritage item or is in a heritage conservation area remains recognisably of its period.*

Generally, the older a building the more important it is to retain the original fabric, whether it is visible or not. Fabric means building materials, as they were originally put together.

15.2.2 General Design rules

These priorities lead to some important rules for changes to buildings in heritage items or heritage conservation areas:

- (i) All features of significance should be conserved or re-instated. Further, if the opportunity presents, inappropriate alterations should be removed and original features reconstructed as well as possible.*
- (ii) As much as possible of the original fabric should be kept. Missing elements may be replaced but only if they are known to have existed.*
- (iii) When new work is added the scale and elements of the earlier building should determine how closely the new work should resemble the old. Combine only what goes well together, and never copy features that are out of character with other traditional buildings in the area.*

(iv) New work should never pretend to be original work and this should be apparent, at least on close inspection, though new building elements should be constructed with the original technology and original functional purpose of these elements in mind.

(v) Completely new buildings should never seek to replicate older styles. They should be designed to be in sympathy with older buildings in their vicinity.

(vi) When there is a choice, seek to improve the appearance and unity of a streetscape. Where there is a variety of buildings in a street or a row of buildings, features of the immediate neighbours should be taken as the reference point for proposed changes.

As a general guide as to what new works might be appropriate most of Muswellbrook's older buildings exhibit a fairly limited range of stylistic details because local builders tended to work with the forms and materials they knew well. The exceptions to this are the houses that were built by the relatively well-off and some more substantial commercial building which tended to be more individual in terms of their layouts and overall forms though still fairly typical of their periods in their details and decoration.

15.2.3 Conservation of existing built works

The Burra Charter sets out four ways in which cultural heritage can be conserved:

- Maintenance, of the physical 'fabric'. Periodic maintenance, to ensure that a thing doesn't fall into disrepair as the result of neglect or of ageing, is the most important task in conservation. Often, this is all that is needed to keep what is significant about a thing.
- Restoration and reconstruction (including repair). These may become necessary when the physical fabric of something that has significance has been allowed to deteriorate. They can sometimes be difficult to carry out properly when things such as materials have changed.
- Preservation. This includes stabilising things that are in danger, providing protection against the elements and placing restrictions on how people may use a thing. Preservation can be expansive and inconvenient and the need for it can often be avoided by carrying out periodic maintenance.
- Adaption. Sometimes the only practical way of keeping what is significant about a thing is to physically alter it or give it a new use. A minimalist approach should always be taken to adaption so as to avoid the irreversible loss of what is significant about a thing.

As some of these can be carried without the need for a DA, owners contemplating changes to a building should discuss their ideas with Council staff and/or Council Heritage Adviser. Even when building works do not require development consent the issue of whether planned works are sympathetic to existing works must be addressed before work is done because inappropriate works can irretrievably compromise or diminish built features that make for the heritage significance of a place.

15.2.4 The form of new works

When the impacts of new building works are being considered the prime consideration will be: 'how will elements of new developments relate visually to existing building works?' Building forms can produce powerful visual intrusions into the curtilage of a heritage item and visual conflicts with features of the wider settings of existing buildings should be minimised where possible.

The main formal elements to be considered when assessing the visual impacts of Muswellbrook Shire Development Control Plan Section 15 Heritage Conservation Version date – April 2009 15-11 new building works are:

(i) building footprints, ie building densities, percentages of allotments which are built on, separations, setbacks, orientation and shapes of floor plans. Although these elements are largely controlled by provisions in Muswellbrook Shire's LEP and DCPs their variation in older buildings is a reflection of the different lifestyles of people at different times. In making alterations and additions to a building care should be taken to ensure that new works do not alter the contribution of the existing building to the 'rhythm' of a streetscape or to the character of its internal layout.

(ii) Scale, ie the dimensions and proportions of buildings and their individual elements, including numbers of storeys, building and ceiling heights and horizontal dimensions and overall bulk. Buildings from different eras are often characterised by distinctive heights, horizontal dimensions and size relationships between different parts or dimensions and new building works should be designed so as to avoid visual incongruities between old and new work.

(iii) Massing, ie roof pitches and forms, window/door shapes and dimensions, façade forms and attachments such as verandas, porches and patios). Buildings of particular historical styles have typical shapes, eg an 'Interwar' Bungalow typically has a medium pitched roof dominated by a symmetrical front roof gable while a Federation house often has more complex roof and floor plans with windows symmetrically arranged in walls but a front gable that is asymmetrically placed. The integrity of existing facades should be maintained especially in the front of buildings.

So far as possible new building works should seek to be similar in form to their existing neighbours.

15.2.5 Materials and Details

As a rule, if the larger scale elements of new works are designed to be sympathetic, the details (eg the forms and types of features such as awnings, chimneys, decorative ornaments, windows and doors and signage) and materials and finishes (eg the types and textures of building materials, and the colours and finishes used in paints and other materials) will tend to be sympathetic to the existing.

However, when maintenance and repair and minor new works are being carried out it is very easy to overlook the importance of materials and details for the way a built heritage item is viewed. Although it is rarely necessary to make exact copies of existing details the greater the significance of a place the more important it is to use authentic materials and details.

The following is a checklist that applies to both new works and maintenance and repair of existing works:

15.2.6 Walls

(i) Timber: Many building elements can be made of timber: window frames, boarding, fascias, brackets, columns, friezes, etc. Many joinery companies have profiles similar to older ones in stock and it is neither necessary nor appropriate to replace timber elements with fibrous concrete replicas. If an exact copy is required, a joiner can easily measure a profile to be run-off. Although timber buildings generally require more maintenance than others modern

paints applied in accordance with manufacturer's instructions have a life of up to 20 years and can help keep maintenance costs down.

(ii) Bricks: Brick and mortar colour, the type of joint and the brick laying pattern (called bonding) should be matched in old and new work. It may be possible to replace missing or damaged bricks with second-hand bricks from the same period but closely matching new bricks should be available from at least one manufacturer. Original face brickwork should never be painted or rendered because this will destroy a building's original colours and textures, and rob it of its period character.

(iii) Cement Render: Cement render was rarely used in Muswellbrook prior to 1930, except as decoration. Face brick was sometimes decorated with rendered bands or stucco mouldings. Rough-cast render was sometimes used as decoration in the Federation period.

(iv) Metal: Even in the Victorian period the use of cast iron on walls was relatively limited. Wrought iron was occasionally used on fences in the late 19th and early 20th centuries.

(v) Stone was sometimes used as decoration in base courses, sills, steps and in fences, particularly in the 1920s and 1930s.

15.2.7 Roofs

Both roof pitch and roofing materials are important. Roofs in Muswellbrook Shire were most commonly medium pitched and of corrugated iron, especially in the 19th and early 20th centuries. Terra cotta tiles are relatively rare on pre-1920 houses but terra cotta was sometimes used for decoration on chimneys, ridge cappings and rainwater heads. Slate was used on more expensive buildings up until the First World War.

(i) Modern materials, such as Colorbond and Zincolume are not recommended for heritage items although metal of corrugated profile may be acceptable if sheeting is of traditional lengths (eg 2.7 metres).

(ii) If iron roofs are painted the work should be in traditional colours, eg 'Red Oxide'.

15.2.8 Windows

In new work sill and head heights should be matched with existing. Check local examples for framing layouts. Note whether window heads are straight or curved. Is stained or patterned glass used?

15.2.9 Interiors

When even minor changes to intact interiors are contemplated, it is recommended that advice be obtained from Council's Heritage Advisor before proceeding. Written consent must be obtained from Council for any internal structural changes in a built heritage item.

15.2.10 Paint

In order to determine the original paint colours layers of paint can be scraped back to see if there was an older, original colour. Scrapings should be taken from areas sheltered from sun and rain and allowance made for fading of the original colour. Most major paint companies offer a full range of traditional colour tints but care should be taken to ensure that their colours are appropriate to the period of an older building. Colour specialist can achieve more accurate colour matching and offer technical advice. Painting of previously unpainted

stone or face brick, and cement rendering of these, should never be done because these are is practically irreversible.

15.2.11 The curtilage

Because the area surrounding a building can be integral to retaining and understanding its heritage significance it is good practice to consider also the physical features in these areas, such as trees and shrubs, garden planting, paths, fences, 'furniture' and sometimes what can be seen in adjacent allotments and streetscapes. Generally the curtilage of a building in a town will be the allotment(s) on which a heritage item is sited but the area of a curtilage can be larger in rural areas.

Although the advice of a heritage landscape consultant sometimes may be needed a commonsense application of the Burra Charter and Natural Heritage Charter will address most issues.

(i) Fencing - Traditionally fences were of timber, iron and brick. Fences are particularly important for maintaining character of older streets and fences within the curtilages of heritage items should be in traditional styles and materials.

(ii) Gardens - Ideally gardens should be in keeping with the period of the house. Information about typical period gardens is available through Council's Heritage Advisor. Major mature plantings should be retained as these elements alone often provide valuable information about the establishment and development of a property.

15.2.12 Outbuildings

Often the importance of older buildings such as stables and other purpose-built buildings for an understanding of a heritage item can be overlooked and these buildings can be allowed to fall into disrepair, which is simply bad economics. Older outbuildings should be conserved and new outbuildings such as garages and sheds should conform to the general rules for form and materials set out above.

15.4.2 MUSWELLBROOK CENTRAL BUSINESS DISTRICT HERITAGE CONSERVATION AREA

This heritage conservation area embraces all the allotments fronting on to Bridge and Victoria Streets from Carl Street and the Railway overbridge to Wilkins Street, together with allotments further east and west to the railway which are in the vicinity of these allotments. Most of the older buildings lie in an older commercial precinct between William and Hill Streets. Precincts north of Hill Street and east of William Street contain mixtures of older and more recent buildings including some originally built for residential purposes.

Statement of Significance

This area is significant for the Upper Hunter region as a physical expression of 150 years of commercial activity in the region. It is highly visible from both a major regional highway and the northern railway as well as from outside the area. While the earliest built features of the streetscape have disappeared, existing buildings provide a tangible link to the commercial history of Muswellbrook, particularly to the interwar period of sustained growth. A variety of building styles is represented but, because most buildings date from the first half of this century, their form and materials tend to be in harmony. Many of the more modern buildings

are modest rather than brash, and respect the earlier era character of the precinct. Street and private plantings tend to modulate the intrusive effect of other 'modern' buildings

Generalised description

Long, narrow allotments mean that building facades on their street frontages are generally narrow and high. The older commercial buildings in the central precinct between William and Hill Streets tend to occupy the full width of their allotments and, being built on or forward to their street frontages, present a more-or-less continuous wall of facades that is broken only by lanes and alleys giving access to the rear of buildings. The older buildings to the north and east, particularly residential buildings now used or likely to be used for commercial purposes, have more discontinuous facades.

Most buildings are single storied but there is a very visible representation of two and three storied buildings and of single storied buildings with substantial parapets. Most buildings are modest in scale and, though some more modern buildings are bulky with large expanses of walls and window, the detailing of most of the 'modern' buildings reduces their intrusive impact on the streetscape. Some modern developments have compromised the visual integrity of both the northern and easterly precincts.

The older buildings include examples from the 1840s to the 1960s but are predominantly inter-war. Walls are generally of masonry, mostly face brick and rendered brick, with parapets which often include their original decorative brick and plaster work, gables fronting to the street in some residential buildings and detailed lower walls. Rendered surfaces are often painted in colours appropriate to the ages of their buildings. Upper floor windows are mostly vertical in alignments (many are four paned sash windows) and many shopfronts retain their original window and door openings. Some older features of shopfronts, including mullions, glazing and tiles have escaped 'modernisation'. Roofs are not visible from the street but are generally hip roofs of galvanised iron (generally unpainted and often rusting) in commercial buildings and gable roofs in residential buildings. Many rear parts (which are highly visible from the south, particularly from car parks) have been extended in a manner unsympathetic to their primary buildings and many rear parts need cosmetic maintenance.

Many building (especially in the eastern part) have skillion (unrolled) galvanised iron awnings projecting over pavements, now cantilevered but formerly supported by posts. Most of the signage on and above these awnings is painted and in character with the buildings, though some inappropriate large illuminated signs project out above awnings and there is much unsympathetic illuminated under-awning signage. Some street signage is obscured by street plantings. Because older buildings are typically built forward to their street frontages there is little private open space in front of most buildings, but some more recent buildings have been set back to provide for inappropriate decorative areas or car parking. Rear yards are generally unlandscaped except for hard surfaces for car parking and access. Pavements, recent street plantings and street furniture (some seats and garbage bins) have not been carried out to any comprehensive plan and do little to offset the negative impacts of the highway; a comprehensive plan for these could help to the visual unification of the area.

6. PHYSICAL DESCRIPTION

6.1 Heritage Significance

Heritage Listed as Masonic Lodge, 75 Bridge Street, Local Item I68
The Statement of Significance is provided earlier within this report.

6.2 Context

- a. The subject site is listed under Schedule 5 of the LEP 2009 as a Heritage Item and is in the vicinity of Heritage Items as described previously. It is also within a listed Heritage Conservation Area.
- b. The site runs west to east, roughly midway between Hill and Brook Streets and on the eastern side of Bridge Street. The site slopes uphill from west to east.
- c. The site accommodates a two storey, commercial brick building.





6.3 Summary Condition and Fabric

Exterior	
	
Store front consisting of later intrusive fabric.	Entrance
	
Sloping concrete path leading to rear.	Southern side of the building.






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75 Bridge Street, Muswellbrook

	
<p>Side entrance with 2nd doorway pointed out with the green arrow</p>	<p>2nd doorway.</p>
	
<p>Sealed ground floor windows.</p>	<p>Later rear additions to the building</p>
	
<p>Bricked up window within later additions</p>	

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Looking towards the rear of the building and down the southern side toward Bridge Street	Looking down the northern side toward Bridge Street
	
Junction between single storey and two storey rear additions.	
	
Junction between the original building and later two storey addition.	

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Damage to decorative vent in external wall	Junction between original brickwork and later additions on the southern elevation.
	
Detail along southern elevation	Detail along southern elevation
	
View showing later additions, corbel is also a later addition, extending the existing corbel. Later shop front addition visible to image left. Refer to gradings of significance plans provided within Appendix I.	View showing later additions. Refer to gradings of significance plans provided within Appendix I.

Interior	
	
Within shop front space	Within shop front space
	
Looking from within the original portion of the building and into the shop front space.	Looking from within the original portion of the building and into the shop front space.
	

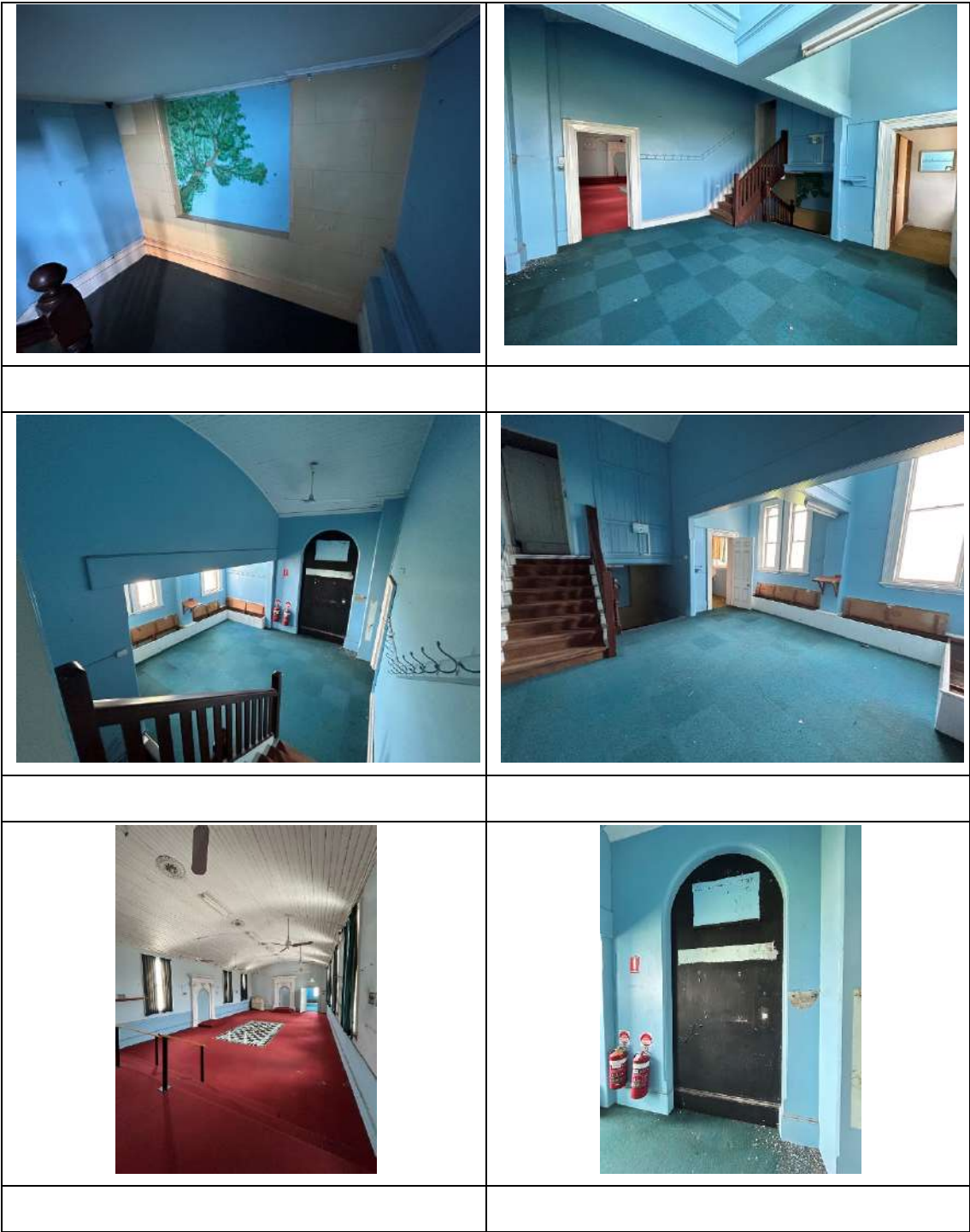
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First Floor	
	
	

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Roof	
	
	Uniting Church (Methodist) is pointed out with the green arrow

Statement of Heritage Impact
75 Bridge Street, Muswellbrook



7. THE PROPOSAL

7.1 Introduction

- a. The proposal is for alterations and additions to the existing Heritage Listed Item of Local Significance known as "Masonic Lodge" for adaptive reuse as a Place of Public Worship, compatible with its original use as a Masonic Lodge.
- b. The proposed alterations include internal alterations with a proposal for the removal and partial replacement of existing internal walls and doorways to allow for a new lift and accessible WC space.
- c. The proposed alterations include replacement of the existing shop front addition with a new, more sympathetic, single storey, contemporary masonry addition to the front of the property.
- d. The proposal includes alterations and additions to the existing street front elevation of the existing building in order to improve legibility between original work, later work and new work and emphasise the form of the original building.

7.2 Documents

This statement was prepared in conjunction with the DA drawings. It is our professional practice to review all design work before finalising the Statement of Heritage Impact and to recommend changes if required in order to make the proposal more appropriate in the heritage context.

Documents reviewed in preparation of this Heritage Impact Statement were prepared by Maxwell & Page Architects.

Page No	Description	Issue	Date
DA01	COVER PAGE	DA	24.10.24
DA02	SITE PLAN		
DA03	GROUND FLOOR PLAN		
DA04	FIRST FLOOR PLAN		
DA05	WEST (BRIDGE STREET) ELEVATION		
DA06	SOUTH ELEVATION		
DA07	NORTH ELEVATION		
DA08	EAST ELEVATION		
DA09	SECTION A		

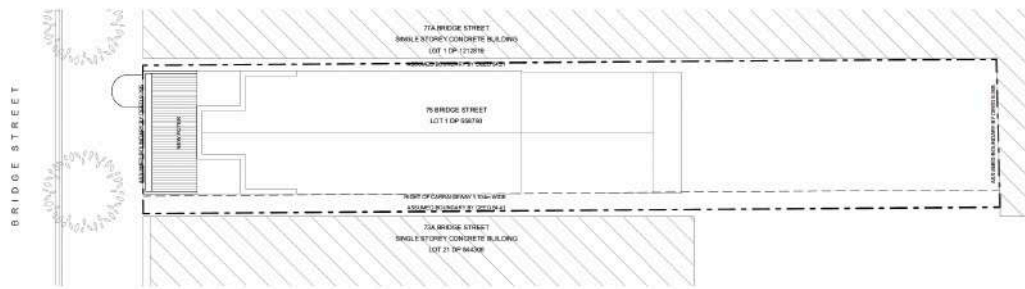


Figure 20 SITE PLAN
source: MAXWELL & PAGE

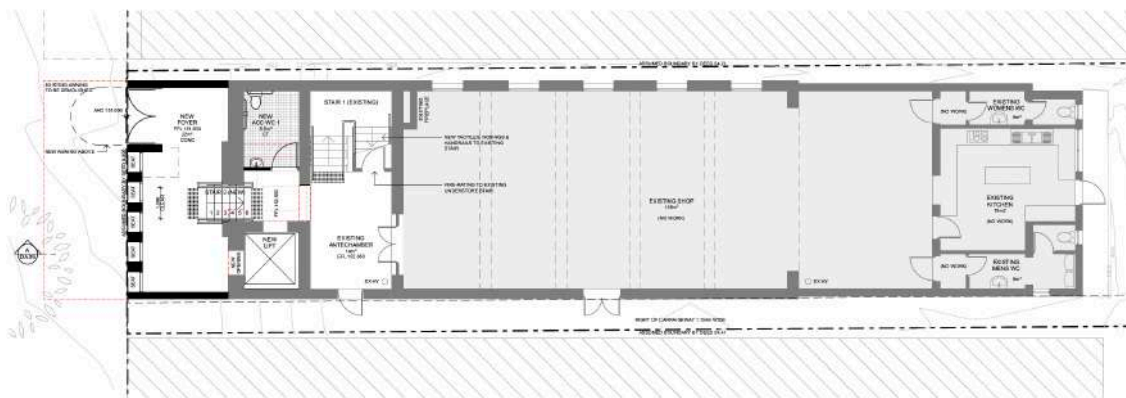


Figure 21 GROUND FLOOR PLAN
source: MAXWELL & PAGE

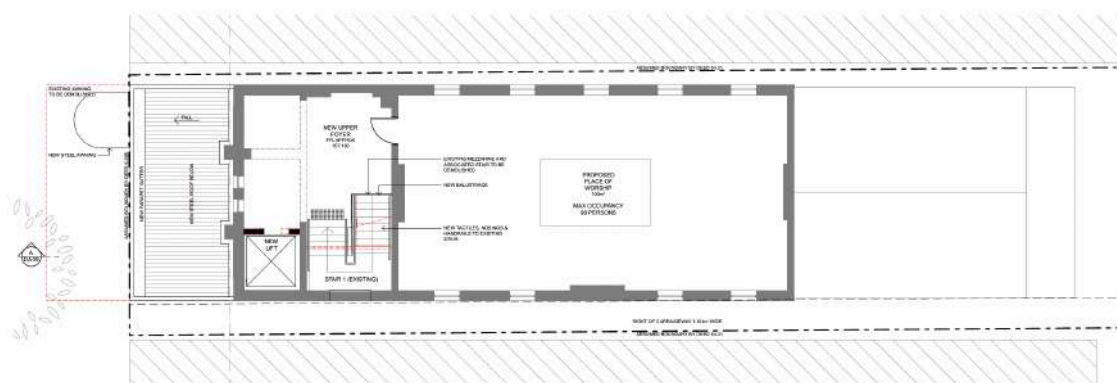


Figure 22 FIRST FLOOR PLAN
source: MAXWELL & PAGE

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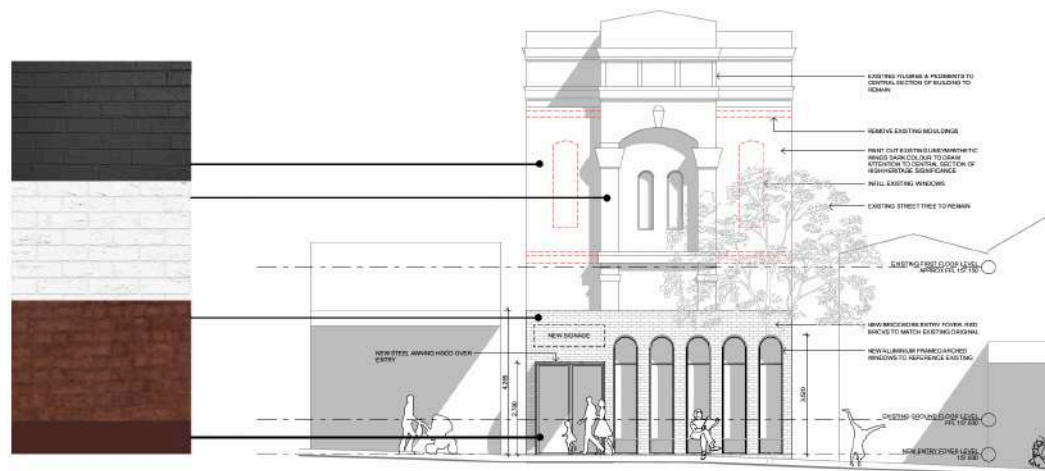


Figure 23 WEST ELEVATION
source: MAXWELL & PAGE

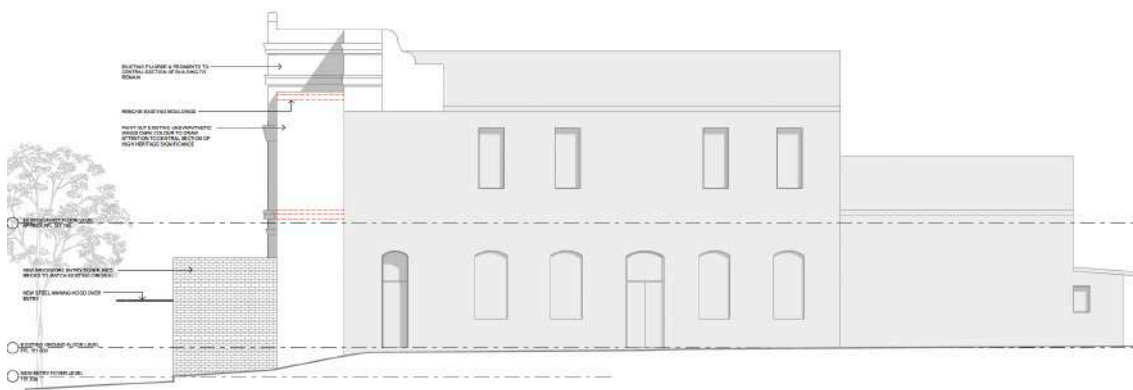


Figure 24 SOUTH ELEVATION
source: MAXWELL & PAGE

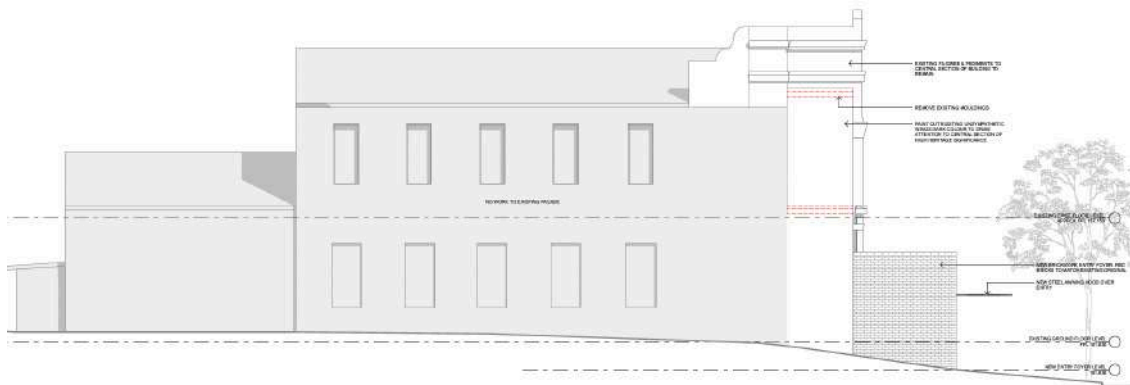


Figure 25 NORTH ELEVATION
source: MAXWELL & PAGE



Figure 26 EAST ELEVATION
source: MAXWELL & PAGE

8. ASSESSMENT OF IMPACT

8.1 Identification of Impacts

- a. Potential impacts arising from the proposed development include:
 - impact of proposed new work on the Heritage Item itself
 - impact of the proposed new work on the streetscape of Bridge Street as well as the views and the setting of the Muswellbrook Business Heritage Conservation Area
 - impact on Heritage Items in the vicinity
- b. This Statement of Heritage Impact analyses the extent of these potential impacts and the measures taken to mitigate any negative impacts. The assessment of impact is based on the known heritage significance of the Heritage Item and the policies and guidelines of the relevant planning instruments.

8.2 Assessment of Impacts

Existing Building

- a. The proposal retains much of the original building in its current form but uses the gradings of significance, appended to this report, to guide an improved representation of the building by enabling legibility between the original building, later work and new work.
- b. The overall ambitions are to highlight and celebrate the original form of the building whilst reducing the prominence of less significant later elements, such as the two storey wing elements either side of the original frontage.
- c. The existing front addition is to be reconstructed in a more sympathetic manner, again ensuring appropriate legibility between new and old.
- d. The primary ambitions of the proposal are to update the existing building to meet accessibility requirements, to undertake necessary repairs and ensure minimum standards of maintenance and care are met, and to enable adaptive reuse as a Place of Public Worship.
- e. The proposal includes the removal of two later windows within the front wing additions as well as the removal of some replicated corbel detailing. These elements are of no significance and their removal is supported. Removal of the false corbel detail is considered positively as it currently confuses legibility of the building as a whole and so detracts from the significance of the original portion.

Front Addition

- f. The proposed front addition to the building replaces an existing intrusive front addition with one that is more sympathetic to the Heritage Item. Careful consideration of form and presentation have been made in order to respond to visual cues within the host building whilst ensuring contemporary legibility that contributes to the storey of development of the site.
- g. The existing front addition is of poor quality and detracts from the host building and its removal and replacement is considered positively.

- h. The proposed addition takes the opportunity to emphasise the significant aesthetic qualities of the main building, referencing arched windows, proportions and materiality to inform a proposal that provides a suitable foreground for the Heritage Item.
- i. Front additions are not usually preferred however is supported in this instance to maintain existing necessary floor space whilst improving access and presentation of the Heritage Item which has been heavily modified and obscured by previous unsympathetic alterations.
- j. Reinstatement of any original frontage to the Heritage Item is difficult and would rely heavily on conjecture, the proposed addition enables the property owners to have their functional requirements met whilst taking the opportunity to improve presentation and interpretation of the site and its development over time.
- k. Use of red brick is supported, the references the earlier building but is detailed in a contemporary manner. It is recommended that further detail of coursing, mortar joints, parapet and masonry arches etc are included within detailed documentation for construction. There is no need to replicate masonry detailing of the host building but rather to use detailing to assist in the legibility of this front addition as a contemporary element.
- l. The proposed window frontage interprets a shop front by maintaining an activated street presence whilst referencing the form and proportions of original arched windows within the front bay of the host building.
- m. The removal of the bulky street awning and inclusion of a contemporary awning / hood element over the proposed entry is supported. The site would not originally have included a street awning and the proposed reduced awning enables interpretation of the more open sense of space that the original setback of the building would have provided. The removal of the large street awning also improves visibility to and from the upper levels of the original building and removes unnecessary bulk from the street frontage, mitigating and ameliorating earlier impacts to the item.

Internal

- n. The proposal includes the alteration of the two storey wing additions either side of the primary frontage for the provision of a new lift within the building.
- o. A number of options were considered for the installation of a lift, including within the main hall spaces and as rear additions to the building. The proposed lift position is the least impactful and utilises an existing element of low significance in order to retain other areas of the building that are graded with higher significance levels.
- p. The proposed accessible WC at ground floor level similarly utilises space that is largely of little significance. Whilst the new WC needs to meet minimum dimension requirements and so affects a wall of moderate significance, the significance of the place as a whole is not diminished as a result. As with the lift element, a number of options for the provision of a WC space were considered and the current proposal determined to be most suitable enabling access from the primary internal floor level whilst keeping impacts to significant fabric to a minimum.
- q. The wall of moderate significance, to be altered by the proposed accessible WC, is an original wall however has already been heavily modified by previous alterations and additions. The alteration for provision of a lift will not disrupt the legibility of the building.

- r. The internal foyer and stair space is to be upgraded to suit the needs of the occupants and to ensure safe access between levels. The stair is of significance and shall be retained, and the provision of tactiles and nosings is necessary for the use of the building. It is recommended that the original balustrade is retained and that secondary handrails are installed as necessary to meet the requirements of the National Construction Code.
- s. The remainder of the ground floor space is to remain as existing with no proposed works other than minor maintenance and repair.
- t. The first floor level work shall include minor internal modifications associated with the proposed lift, with impacts being negligible as described for the ground floor.
- u. The proposed mezzanine level above the stairs is to be removed which is positive, improving the presentation of the internal stairwell.
- v. The main hall space at first floor level is to remain largely the same and utilised for services, fabric of moderate significance should be retained where possible but could be removed if necessary for appropriate adaptive reuse. The compatible adaptive reuse of the building will facilitate its ongoing care and maintenance as well as provide important functional upgrades; the overall heritage benefits of adaptive reuse outweigh any minor losses that may be necessary to fabric of moderate significance. Where possible, this fabric could be covered over with reversible installations to enable their retention and the potential to reveal them if suitable in the future.
- w. The majority of existing fabric of high significance shall be retained.

8.3 Views and Settings	
	
Looking in a southerly direction. Campbell's Store is identified by a green arrow.	Looking in a westerly direction. Uniting Church (Methodist) is pointed out with the green arrow
	
Looking toward the subject property from across Bridge Street	Looking toward the subject property from across Bridge Street
	
Taken from the Bridge and Brook Streets intersection toward Campbell's Store on the corner of Brook and Bridge Street and facing the Brook Street façade in a westerly direction	Campbell's Store on the corner of Brook and Bridge Street and facing the Brook Street façade in a southerly direction

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Bridge Street and Brook Street intersection. Looking in a westerly direction down Brook Street. The spire to St James Church, corner of Brook and Sowerby Streets, is pointed out with the green arrow



St James Church to the rear and south east of the subject property.



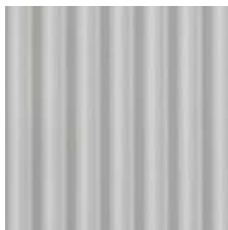
Rear of the property pointed out with the green arrow



- a. Existing views and setting shall remain largely unaffected by the proposed work.
- b. The presentation of the proposal within Bridge Street will be enhanced and the legibility of the building itself improved.
- c. There is no negative impact or diminishment of significance of the Heritage Conservation Area, the Heritage Item itself or Heritage Item's in the vicinity.

8.4 Materials and Colours

- a. The material and colour selections for the proposed additions will complement the host building whilst maintaining a contemporary legibility which is important with this type of development.
- b. It is normally recommended that exposed brick is not painted, however the proposed painted brick is part of a later addition to the host property and is not considered significant to the original architecture.
- c. Where existing significant brickwork is already painted, repainting as proposed is supported
- d. It is recommended that an assessment of brickwork is undertaken and that a paint specification is included as part of the construction documentation to ensure that the existing bricks are not damaged or subject to deterioration.
- e. The exposed, unpainted brick which forms part of the original building is to remain unaltered and unpainted.
- f. It is recommended that a neutral colour is considered to the decorative feature elements (currently blue) of the original building within the street front elevation.
- g. The proposed masonry addition is contemporary in style and form whilst remaining sympathetic to the host property and neighbouring properties with its proposed warm brick materiality.
- h. New windows and doors in the addition will be aluminium and coloured to match the scheme. These new window and door frames should be a bolder profile such as Magnum or similar, closer in size to traditional timber windows but also commercial in nature to respond to the shop front presentation.
- i. The following colours and materials are suggested or similar:



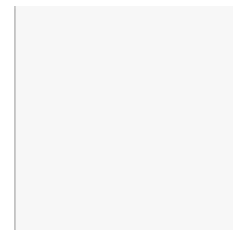
LIGHT TO MEDIUM GREY
NEW ROOFING
RAINWATER GOODS



MONUMENT
WINDOW AND DOOR FRAMES
NEW ADDITION



WARM RED BRICK
SYMPATHETIC TO HOST
PROPERTY



WHITE
WINDOW AND DOOR
FRAMES TO EXISTING



PAINTED WHITE BRICK
EXISTING RENDERED /
PAINTED BRICK



MONUMENT
TO LATER TWO STOREY
WING ELEMENTS



EXISTING BRICK
TO REMAIN UNCHANGED



DULUX HOG BRISTLE
EXISTING FEATURE
ELEMENTS

9. RECOMMENDATIONS AND CONCLUSIONS

The following conclusions are made based on the assessment of heritage impact:

- a. The new work will make a functional improvement over the existing without detracting from the Heritage Conservation Area or Heritage Items in the vicinity.
- b. The proposal will remove intrusive additions and provide more sympathetic replacement elements to improve the presentation of the Heritage Item without diminishing significance.
- c. The proposed design meets the objectives of the DCP and Burra Charter.
- d. The following recommendations are provided:
 - It is recommended that further detail of coursing, mortar joints, parapet and masonry arches etc are included within detailed documentation for construction. There is no need to replicate masonry detailing of the host building but rather to use detailing to assist in the legibility of this front addition as a contemporary element.
 - It is recommended that the original balustrade is retained and that secondary handrails are installed as necessary to meet the requirements of the National Construction Code.
- e. This report shall be read in conjunction with the final development application drawings and Statement of Environmental Effects.
- f. The proposal is respectful of neighbouring properties and will reasonably maintain a positive impact on the existing streetscape.
- g. The final assessment is that, based on the considerations within this Statement of Heritage Impact, the proposal should be approved.



Jason Penhall



Jadine Penhall

CONTEMPORARY HERITAGE

10. REFERENCES

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APPENDIX D:

ACCESS REPORT

Prepared by: Accessed

Date: 20 December 2024
Project Ref: 232402
Address: 75 Bridge Street, Muswellbrook NSW
LGA: Muswellbrook Shire

GILES
PLANNING



PO Box 197 Charlestown NSW 2290
Ph: 02 4943 3834 Email: admin@accessed.com.au
ABN: 22 151 919 489

DA ACCESS REPORT

PROJECT NAME 75 Bridge Street, Muswellbrook NSW – Level 1
PROJECT NUMBER CA220147
CLIENT The Vines Community Church

REVISION	ISSUE DATE	DETAILS
DA-LEVEL1-2024-1	19 December 2024	For DA submission

REPORT PREPARED BY

WENDY GOULD

Accredited Access Consultant | ACA 556
Accredited SDA Assessor | SDA00023
Livable Housing Registered Assessor | LHA20217

DOCUMENTATION REVIEWED

Refer to Appendix A.



INTRODUCTION

This Access Report is an assessment of the proposed building work to demonstrate consideration of access for people with a disability for the development application submission.

The following comments are based on access requirements of the Building Code of Australia 2022 (BCA), Disability (Access to Premises – Buildings) Standards 2010 (including Compilation No. 2) (Premises Standards), Australian Standards (AS) and Disability Discrimination Act (DDA).

This report contains comments regarding issues of non-compliance and identifies where insufficient information has been provided for an assessment to be made. Recommendations may also be made to enhance accessibility and minimise the risk of action under the Disability Discrimination Act (DDA).

Unless otherwise specified, all Australian Standards references are from the following:

- AS 1428.1-2009 (including Amendments No. 1 and 2)
- AS/NZS 1428.4.1-2009 (including Amendment No. 1)
- AS 1428.5-2010
- AS 1735.12-1999

ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
1.	ACCESS REQUIREMENTS		
1.1	<p>The proposed work will be subject to the Premises Standards when an application for building work is made. Therefore, the following are required to comply with the Premises Standards (which is adopted by relevant parts of the BCA):</p> <ul style="list-style-type: none"> a) The new parts of the building. b) The principal pedestrian entry. c) The path of travel between the principal pedestrian entry and the new parts. 	<p>Premises Standards 2.1 – 1 b 2.1 – 4 a 2.1 – 5</p>	
1.2	With respect to the areas outlined above, access for people with a disability is required to and within all areas normally used by the occupants.	BCA D4D2 (8)(b)	
2.	ACCESSIBLE PATH OF TRAVEL		
2.1	<p>The continuous accessible path of travel to and within areas required to be accessible is to comply with AS 1428.1.</p> <p>A scaled assessment indicates that this is achievable subject to confirmation of specific dimensions and features which are not fully detailed on the plans at this early stage of design, including flush transitions between floor surfaces.</p>	<p>AS 1428.1 7.2 Fig. 6, 7</p>	As scaled from plans



ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
3.	APPROACHES AND ENTRANCES		
3.1	<p>In this case, the principal pedestrian entrance is considered to be via the new foyer entry double doors. From there, the new lift will provide access to the level 1 place of worship.</p> <p>In the absence of any major level changes on the approach to this entrance from the Bridge Street public footpath, the external landing is anticipated to have a gradient not steeper than 1:40 and therefore be accessible. Where this varies on site, further details are to be assessed to determine compliance.</p> <p>Comment: Refer to section 4.3 of this report for ramped threshold requirements for level changes of 35mm or less at doorways.</p>	BCA D4D3	<p>As shown on plans</p> <p>Confirm for CC</p> <p>Refer to section 4.3</p>
4.	DOORWAYS		
4.1	<p>Doorways are required to have a minimum clear opening width of 850mm (at least one leaf of multiple leaf doors is to meet this requirement).</p> <p>Lift doors are to have a minimum clear opening width of 900mm to satisfy BCA E3D8 and AS 1735.12 requirements for an accessible passenger lift.</p>	BCA D4D3(5) AS 1428.1 13.2	<p>Confirm for CC</p> <p>Confirm for CC</p>

ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
4.2	<p>Circulation space is required at each door with a maximum gradient and crossfall of 1:40. Dimensions are to be confirmed on site to ensure minimum clearances, which vary depending on the direction of approach and clear width of the door, achieve compliance with AS 1428.1. Note that dimensions are to be clear of the finished surface (e.g. wall/skirting) or any other obstruction (e.g. fire equipment) and are minimum dimensions.</p> <p>Plans were scaled where dimensions are not shown, and circulation spaces were generally found to be in accordance with AS 1428.1.</p>	AS 1428.1 13.3	As scaled from plans
4.3	Where the transition between floor surfaces is not flush, a ramped threshold is to be provided with a maximum length of 280mm, maximum height of 35mm and maximum gradient of 1:8. It is to be located within 20mm of the door leaf which it serves.	AS 1428.1 10.5 Fig. 21	Confirm for CC where present
4.4	Doorways are not fully detailed on the plans at this early stage of design and CC plans are to demonstrate compliance. Features such as luminance contrast to the doors or frames, opening force of the doors, glazing identification, and door hardware are to comply with AS 1428.1.		Confirm for CC

ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
5.	LIFT		
5.1	<p>A new passenger lift is proposed to provide step free access between new entry foyer level (FFL 151.630), ground level (FFL 152.650), and level 1.</p> <p>This is to be a type listed in BCA E3D7 and comply with BCA E3D8, including minimum floor dimensions of 1100mm x 1400mm (for lifts which travel less than 12m).</p> <p>Plans are to show further details for assessment at CC stage and certification is to be obtained from the lift supplier regarding compliance with BCA E3D7 and E3D8.</p> <p>The BCA may prescribe requirements in relation to accommodating a stretcher in addition to elements required for access for people with a disability.</p>	BCA E3D7 E3D8	<p>As shown on plans</p> <p>Confirm for CC</p>
6.	STAIRS		
6.1	<p>New stairs (Stair 2) are proposed as an alternative to lift access between new entry foyer level and ground level. They are to have accessible features complying with AS 1428.1, including features outlined in this section of this report.</p> <p>Existing stairs (Stair 1) between ground level and level 1 are to be retained due to the heritage significance of the timber balustrade. Accessibility upgrades are to be undertaken, to the extent possible, given the existing nature of the stairs. Proposed variations to AS 1428.1 requirements are outlined in this section of this report and are to be finalised at CC stage.</p>	BCA D4D4 (a)(ii)	<p>Confirm for CC</p> <p>Confirm for CC</p>

ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
a)	<p>Opaque risers with the nosing not projecting beyond the face of the riser. The riser may be vertical or splay backward up to 25mm.</p> <p>Comment: It is anticipated that the existing nosings will be retained, which appear to project beyond the face of the riser. If heritage constraints permit, the face of the risers could be infilled partially or fully with a material that could be removable in the future. Details are to be provided for assessment at CC stage.</p>	<p>AS 1428.1 11.1 c, d Fig. 27A, B</p>	Confirm for CC
b)	<p>The nosing profile is to be sharp or be rounded/chamfered up to 5mm.</p> <p>Comment: It is anticipated that the existing nosing profile will be retained. Details are to be provided for assessment at CC stage.</p>	<p>AS 1428.1 11.1 e</p>	Confirm for CC
c)	<p>Non-slip edge strips with a minimum 30% luminance contrast, for 50mm-75mm deep, across the full width of the stairs. Edge strips may be set back a maximum of 15mm from the front of the nosing and are not to extend down the riser more than 10mm.</p> <p>Edge strips with multiple lines may not achieve compliance, particularly where the nosing and inserts are of differing colours.</p>	<p>BCA D4D4 (a)(ii),(iii) AS 1428.1 11.1 f g</p>	Confirm for CC
d)	<p>The BCA requires slip-resistance of stair treads and landings or their nosing strips to be tested in accordance with AS 4586 and comply with BCA Table D3D15.</p>	<p>BCA D3D15 Table D3D15 D3D14 (1)(e) D3D15 (a)(ii)</p>	Confirm for CC
e)	<p>Handrails complying with AS 1428.1 are required on both sides of stairs.</p>	<p>AS 1428.1 11.2 b</p>	As shown on plans

ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
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- | | | | |
|----|---|--------------------|-------------------|
| f) | Tactile ground surface indicators are required at the top and bottom of stairs. | BCA D4D9
(1)(a) | As shown on plans |
|----|---|--------------------|-------------------|

7. HANDRAILS

- | | | | |
|-----|--|-------------------------------------|-------------------|
| 7.1 | Handrails are required along both sides of stairs that are not fire isolated. | BCA D3D22
(1)(f), (4)
D4D4(a) | As shown on plans |
| | In this case, it is proposed that new handrails are installed to existing Stair 1 and affixed to existing timber heritage balustrading. Some minor technical variations may be necessary to fit the existing stairs. Variations are outlined in this section of this report and are to be finalised at CC stage. | AS 1428.1
10.3 e
11.2 b | Confirm for CC |

They are to comply with AS 1428.1, including:

- | | | | |
|----|--|-------------------|----------------|
| a) | Handrails are required to have a circular or elliptical cross section. The diameter for circular handrails is to be 30-50mm, or the height and width for elliptical handrails is to be 30-50mm with the greater dimensions in the horizontal axis. | AS 1428.1
12 b | Confirm for CC |
| b) | Exposed edges and corners of handrails are required to have a radius of at least 5mm. | AS 1428.1
12 c | Confirm for CC |

ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
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- | | | | |
|----|--|----------------------|----------------|
| c) | The top of handrails is required to be at a height of 865mm-1000mm and consistent throughout its length above each landing and nosing. | AS 1428.1
12 d, e | Confirm for CC |
|----|--|----------------------|----------------|

Comment:

Typically, stairs require offset treads at an intermediate landing or increased length on this landing to allow for a continuous inside handrail at a consistent height at the base of the upper flight.

In the case of Stair 1, stairs are existing, and the inside handrail will therefore need to be angled as it turns around the intermediate landing to provide a consistent height on the upper and lower flights. Details are to be provided for assessment at CC stage to verify compliance to the extent possible.

- | | | | |
|----|--|------------------------------------|----------------------|
| d) | Handrails are required to have a 1000mm minimum clear width, or minimum clearance in accordance with circulation space requirements. | AS 1428.1
6.3
13.3 | As scaled from plans |
| e) | Handrails are required to be continuous on the inside at landings and should be continuous on both sides of landings where possible. | AS 1428.1
11.2, 12 j
Fig. 28 | As shown on plans |

Comment:

In this case, handrails will be continuous on the inside at the intermediate landing. There is insufficient space on this landing for the outside handrail to also be continuous.

ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
	<p>f) At the bottom of stairs, handrails are to extend one tread width in the downward angle plus 300mm horizontally. At the top they are to extend 300mm horizontally. The ends are to be turned away to the side wall or turned downwards through 180°.</p> <p>Comment: A scaled assessment indicates that handrail extensions will need to be lengthened in all locations. Both the downward angle and the 300mm horizontal section are to extend forward of the stairs and only turn to terminate.</p>	AS 1428.1 11.2 d, e Fig. 28 b	Confirm/amend for CC
	g) Handrails are required to be securely fixed and rigid.	AS 1428.1 12 g	Confirm for CC
	h) Handrails are required to have a 50mm minimum clearance between the handrail and wall/obstruction to a height of at least 600mm above the handrail.	AS 1428.1 12 h	Confirm for CC
	i) Handrails are to have no obstruction to the passage of a hand along the top 270° of the rail.	AS 1428.1 12 i	Confirm for CC
	j) Where the handrail is not continuous on both sides at an intermediate landing, tactile ground surface indicators are required to be installed across the full width of the landing, placed 300mm from the stairs, with a length of 300-400mm (or 600-800mm if the landing is 3m or more in length).	AS 1428.1 9 AS1428.4.1 2.4	Confirm/amend for CC
7.2	If the BCA requires a balustrade for prevention of falls (certifier to determine required locations), AS 1428.1 suggests both balustrade and handrail be provided separately.	AS 1428.1 12 f BCA Guide Fig. D2.17(2)	As shown on plans



ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
8.	TACTILE GROUND SURFACE INDICATORS		
8.1	<p>Tactile ground surface indicators are required at the top and bottom of stairs which are not fire isolated.</p> <p>They are to comply with AS 1428.4.1, including:</p> <ul style="list-style-type: none">a) Have luminance contrast of at least 30% for integrated tiles, at least 45% for discrete indicators or at least 60% for discrete indicators consisting of two colours.b) Be across the path of travel at right angles to the hazard, for a depth of 600-800mm and set back 300mm from the hazard (where the landing is less than 3m in length, the depth of the tactile indicators may be reduced to 300-400mm).	<p>BCA D4D9</p> <p>AS1428.4.1 2.2 b</p> <p>AS1428.4.1 2.3.1 b 2.3.3 a, b, c, e</p>	<p>As shown on plans</p> <p>Confirm for CC</p> <p>Confirm/amend for CC</p>
9.	SANITARY FACILITIES		
9.1	<p>A new accessible sanitary facility is proposed on the ground level (FFL 152.650), which could serve both the level 1 place of worship and the existing ground floor shop (subject to the room being locked for security purposes).</p> <p>This is to comply with AS 1428.1, and a scaled assessment indicates that circulation spaces will be achievable.</p> <p>Fixtures and fittings, including the toilet pan, toilet seat, backrest, toilet paper dispenser, sink, shelf, soap dispenser, mirror, clothes hook, grabrails and door hardware, are to comply with AS 1428.1 and CC plans are to demonstrate compliance.</p>	<p>BCA F4D5 F4D6 AS 1428.1 15</p>	<p>As shown on plans</p> <p>As scaled from plans</p> <p>Confirm for CC</p>



ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
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Comments:

	a) As the design progresses, ensure that minimum 1900mm room width will be achieved clear of finished wall surfaces.		Confirm for CC
	b) A sink with a minimum 440mm projection from the rear wall is recommended to suit wheelchair users. This sink is permitted to overlap a maximum 100mm into the 2300mm length of the toilet pan circulation space on construction.		Confirm for CC
9.2	In the absence of any further sanitary facilities located on level 1 and work to existing ground floor sanitary facilities, the Premises Standards do not impose any additional sanitary facility upgrades.		Upgrades not required

10. HEARING AUGMENTATION

10.1	A hearing augmentation system is to be provided in accordance with BCA D4D8 where an inbuilt amplification system is installed (other than one used for emergency warning purposes only) in a room of a Class 9b building.	BCA D4D8	Confirm for CC
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11. SIGNAGE

11.1	Signage is required in accordance with BCA Specification 15 as follows:		
	a) Each door required by BCA E4D5 to be provided with an exit sign is to be identified by Braille and tactile signage complying with BCA Specification 15. These are to state 'Exit' and 'Level' followed by the floor level number and be located in accordance with BCA Specification 15.	BCA D4D7 (1)(a)(ii)	Confirm for CC



ITEM	ACCESS ELEMENTS	REFERENCE	ASSESSMENT
	<p>b) The unisex accessible sanitary facility is to be identified by Braille and tactile signage which incorporates the international symbol of access, male and female symbols and identifies if the facility is for left- or right-handed use.</p> <p>Comment: Plans assessed for this report show a facility for right-handed use.</p>	<p>BCA D4D7 (1)(a)(i)(A) (1)(c) AS 1428.1 8.1 a i, ii</p>	<p>Confirm for CC</p>
	<p>c) Where a hearing augmentation system is installed, Braille and tactile signage is required to identify the space containing it and within the room to identify the type of system, area covered and if receivers are being used, where they can be obtained.</p>	<p>BCA D4D7 (1)(a)(i)(B)</p>	<p>Confirm for CC</p>

CONCLUSION

Access will need to comply with the elements identified in this report.

Generally, the plans assessed show that compliance with requirements for access for people with a disability is achievable subject to incorporation of further details as the design progresses.

At this early stage of design, full details are not shown on plans. As further planning occurs, consideration is to be given to specific elements including switches, controls and hearing augmentation, and plans showing more detailed dimensions and features are to confirm compliance at construction certificate stage.

Requirements and recommendations to achieve compliance with the Premises Standards, Building Code of Australia, and Australian Standards for accessibility and to minimise the risk of action under the Disability Discrimination Act, have been explained in this report.

Reference numbers are provided for clarification of comments within this report. Alternatively, the author may be contacted on the details on page 1 for further clarification.

Reasonable care and skill have been exercised in the assessment of the building and the preparation of this report. However, this report shall not be construed as relieving any other party of their responsibilities or obligations.

The advice given is based on the assessment of the plans and other relevant documentation supplied regarding access requirements in the BCA, Australian Standards, Premises Standards and Disability Discrimination Act current at the time. The advice relates specifically to this project and may not apply to any other building or to this building at any other point in time.



APPENDIX A: DOCUMENTATION REVIEWED

Plans by Maxwell & Page | Project V0122

DOCUMENT NUMBER NAME	REVISION	DATE
DA01	DA1	21/11/2024
DA02	DA1	21/11/2024
DA03	DA1	21/11/2024
DA04	DA1	21/11/2024
DA05	DA1	21/11/2024
DA06	DA1	21/11/2024
DA07	DA1	21/11/2024
DA08	DA1	21/11/2024
DA09	DA1	21/11/2024
DA10	DA1	21/11/2024
DA11	DA1	21/11/2024

APPENDIX E:

WASTE MANAGEMENT PLAN

Date: 20 December 2024
Project Ref: 232402
Address: 75 Bridge Street, Muswellbrook NSW
LGA: Muswellbrook Shire

GILES
PLANNING

SITE WASTE MINIMISATION AND MANAGEMENT PLAN

This plan has been provided in support of a development application for proposed change of use and minor works located at 75 Bridge Street, Muswellbrook and developed using the NSW Department of Environment and Climate Change 'Model Waste Not DCP Chapter 2008'.

Builder is to check the conditions of development consent; allocate an area on site for the storage of materials for use, recycling and disposal; and identify potential reuse/recycling opportunities for excess construction materials, as recommended in Table 1.

Table 1: Options for waste disposal

Type of material	Reuse and Recycling Options		Disposal
	On Site	Off site	
Excavation material	Minimise site disturbance and limit unnecessary excavation; Reuse on site for filling and retaining walls that have development consent.		Remainder to landfill
Overburden	Used for topsoil in landscaping		Remainder to landfill
Green waste	Relocate plants and trees, mulching, composting.	Sell or give away significant trees	Remainder to landfill
Bricks and pavers	Use for fill behind retaining walls in accordance with engineer's advice (that have development consent); can be cleaned for reuse or rendered over or crushed for use in landscaping and driveways	Crushing and recycling companies	Do not dispose
Concrete		Reused for filling, levelling or road base.	Remainder to landfill
Untreated timber	Reused as floorboards, fencing, furniture, mulched	Sent to second-hand timber suppliers	Rotted timber
Treated timber	Reused as formwork, bridging, blocking and propping	Pallets returned; Excess timber returned to supplier; Recycling company	Remainder to landfill
Roof tiles	Can be cleaned and reused or crushed for use in landscaping and driveways	Recycling company	Do not dispose
Plasterboard		Removal for recycling, return to supplier	Remainder to landfill
Metals	Use as part of new works	Metal recycling company	Remainder to landfill
Plastic / Boxes		Return to supplier if possible	Remainder to landfill
Doors, windows, fittings	Use as part of new works	Sent to second-hand suppliers	Items that are broken
Glass		Reused as glazing or aggregate for concrete production	Remainder to landfill
Synthetic rubber (carpet underlay)	Use as part of new works	Reprocessed for use in safety devices and speed humps	Remainder to landfill
Carpet	Use as part of new works	Can be sent to recyclers or reused in landscaping	Remainder to landfill
Hazardous waste and special waste (including asbestos)	Disposed in accordance with relevant waste legislation administered by the EPA and relevant Occupational Health and Safety legislation administered by WorkCover NSW and Australian Standard AS2601: 2001 - The Demolition of Structures.		

Details for recycling companies: www.businessrecycling.com.au